

RESOLUTION NO. 47-18

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RICHMOND APPROVING A VESTING TENTATIVE MAP, DESIGN REVIEW PERMIT, AND MAJOR AMENDMENT TO A PLANNED AREA PLAN FOR THE MIRAFLORES FOR-SALE HOUSING DEVELOPMENT

WHEREAS, Miraflores Community Devco, LLC., on behalf of the property owner, the Successor Agency to the former Richmond Community Redevelopment Agency (collectively, the “applicant”), requests approval of a Vesting Tentative Parcel, Design Review Permit, and a Major Amendment to a Planned Area Plan to increase the total number of residential units from 150 to 190 and increase building heights above 35 feet for the Miraflores For-Sale Housing Project (“Project”) at a site bounded by South 45th Street to the west, Wall Avenue to the south, Interstate 80 to the east, and the BART tracks to the north (APNs 513-321-001, 513-321-003, 513-330-001 through -003, 513-330-005 through -007, and -012 through-014) (“subject site”), and

WHEREAS, the Vesting Tentative Map is subject to the provisions of California Government Code Sections 66410-66499.58, known as the Subdivision Map Act and Series 700 of the Richmond Municipal Code known as the Richmond Subdivision Ordinance; and

WHEREAS, on February 14, 2018, at a public hearing the Design Review Board reviewed the Design Review Permit and Major Amendment to the Miraflores Planned Area Plan, and voted to recommend approval to the Planning Commission, subject to conditions; and

WHEREAS, on April 19, 2018, at a public hearing the Planning Commission reviewed the Vesting Tentative Map, Design Review Permit and Major Amendment to the Miraflores Planned Area Plan, and voted to recommend approval to the City Council, subject to conditions; and

WHEREAS, the City certified an Environmental Impact Report (EIR) (SCH# 2007082154) for the Miraflores project in December 2009, including adopting a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program. The proposed Project is a modification of the original for sale project evaluated in the EIR. The development program analyzed in the EIR assumed a project of up to 226 for-sale market rate residences and 110 affordable rental units for seniors. The proposed density of 190 residential units and development characteristics are consistent with the analysis performed in the original EIR. Therefore, the Mitigation Monitoring and Reporting Program remain applicable and are incorporated into the proposed development (see Attachment 2).

WHEREAS, the City Council has conducted a properly noticed public hearing pursuant to California Government Code Section 65090 and has duly considered all written and verbal testimony presented before or during the hearing, including the agenda report dated June 19, 2018; and

WHEREAS, on the basis of the application, plans, materials, and testimony submitted at or before the public hearing, the City Council makes the following findings with statements of fact approving the Vesting Tentative Map per Section 15.04.702.100 of the Zoning Ordinance, Design Review findings per Section 15.04.805, and Major Amendment to a Planned Area Plan findings per Section 15.04.810:

VESTING TENTATIVE MAP FINDINGS (Section 15.04.702.100):

1. **Consistency.** The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, any applicable specific plan, the Zoning Ordinance, and other applicable provisions of the City’s Municipal Code.

Statement of Fact: The site is located in a Medium Density Residential designation under the General Plan and Zoning Ordinance. The zoning district and the General Plan enable subdivisions of this type of development. The proposed subdivision will result in 190 residential condominium units on an 8.17 acre parcel.

2. **Physically Suitable.** The site is physically suitable for the type of development and the proposed density of the development.

Statement of Fact: The site is physically suitable for a residential development. The subject property is considered a large site (8.17-acre) and the proposed 22 lots with a total of 190 condominium units are consistent with the surrounding area. The proposed lots, open space, and other improvements are of appropriate size as set forth by the Zoning District in which the subject site is located. The subject property is located adjacent to an urbanized area where existing drainage, sewer, water and improvements are available. The first phase of the Miraflores Development, the 80-unit senior housing development is currently under construction.

3. **No Environmental Damage.** The proposed subdivision, together with the provisions for its design and improvement, are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat, unless an Environmental Impact Report (EIR) was prepared and a finding was made that specific economic, social, or other considerations make the mitigation measures or project alternatives infeasible, pursuant to Section 21081(a)(3) of the Public Resources Code.

Statement of Fact: The City certified an Environmental Impact Report (EIR) (SCH# 2007082154) for the Miraflores project in December 2009, including adopting a Statement of Overriding Considerations and a Mitigation Monitoring and Reporting Program. The proposed Project is a modification of the original for sale project evaluated in the EIR. Therefore, the Mitigation Monitoring and Reporting Program are still applicable and will be incorporated into this proposed development. This will ensure that the project will not substantially cause an environmental adverse impact of overriding considerations and will comply with the adopted MMRP.

4. **Public Health Problems.** The proposed subdivision, together with the provisions for its design and improvement, is not likely to cause serious public health problems.

Statement of Fact: The design of the land division is not likely to cause any serious public health problems because the project conforms to the City Subdivision Ordinance. Any future development will be constructed to meet all applicable building and safety codes.

5. **No Conflict with Easements.** The proposed subdivision, together with the provisions for its design and improvement, will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. The City may approve a map if it finds that alternate easements for access or for use will be provided and that these easements will be substantially equivalent to ones previously acquired by the public.

Statement of Fact: The design of the land division and the type of proposed improvements for the development will not conflict with easements acquired by the public at large because all existing easements will be conveyed, such as the private easement for access.

6. **Availability of Water.** Water will be available and sufficient to serve a proposed subdivision with more than 500 dwelling units in accordance with Section 66473.7 of the Subdivision Map Act.

Statement of Fact: The project has been reviewed by EBMUD and determined that water will be available to serve the project. The proposed project will include 190 units which is below the 500 unit threshold.

DESIGN REVIEW FINDINGS (Section 15.04.805):

- A. The General Plan and any applicable specific plans;

Staff Statement: The proposed project complies with all applicable development standards in the Richmond Zoning Ordinance and the General Plan. The Medium Density General Plan designation for the subject property is specifically intended to enable this type of development as proposed by the applicant. The project is also consistent with the General Plan Land Use Goal LU-A and Land Use Policy LU-I as the proposed project will enhance the value of the area, and will be constructed in conformance with the Richmond Zoning Ordinance and California Building Codes.

B. Any applicable design guidelines;

Staff Statement: There are no applicable design guidelines in this neighborhood aside from design criteria in D below..

C. Any approved tentative map, Use Permit, Variance, or other planning or zoning approval that the project required; and

Staff Statement: The project requires a Major Amendment to a Planned Area Plan and must be approved by the City Council. The change will include an increase in units from 150 to 190 and an increase in building heights from 35 feet to 50 feet.

D. The design review criteria in Section 15.04.805.04.

The project must satisfy these criteria to the extent they apply.	Criteria Met?
A. The overall design of the project, including its scale, massing, site plan, exterior design, and landscaping, reflects design integrity and the relationship of form and function in a coherent manner.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
B. The project design evidences a sense of place and consideration of scale, mass, height, building siting, and privacy in a neighborhood and community context; does not overwhelm or adversely impact adjoining properties; and respects prevailing setbacks and the scale and heights of neighboring buildings and how they relate to the street.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
C. The project has integrated sun/shadow considerations into building and landscape design to provide for human comfort and not create heat islands with large expanses of unshaded paving.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
D. The project design is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, the surrounding neighborhood, and the Richmond community at large.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
E. The project's design elements, materials, signage, and landscaping are internally consistent, fully integrated with one another, and applied in a manner that is visually consistent with the proposed architectural design.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
F. The project contributes to the creation of an attractive and visually interesting built environment that includes a variety of building styles and designs with well-articulated structures that present varied building façades, rooflines, and building heights within a unifying context, compatible with the surrounding neighborhood.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
G. The project design does not substantially limit public views and vistas from public parks and publicly owned open space.	N/A <input checked="" type="checkbox"/>
H. Parking areas are designed and developed to buffer surrounding land uses, minimize stormwater run-off, and provide shade for internal walkways.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
I. Lighting and lighting fixtures are designed to complement buildings, be of appropriate scale, provide adequate light over walkways and parking areas to create a sense of pedestrian safety, and avoid creating glare.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
J. The proposed building design and landscaping supports public safety and security by allowing for surveillance of the street by people inside buildings and elsewhere on the site.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
K. Landscaping is designed to be compatible with and enhance the architectural character of the buildings on site. Proposed planting materials avoid conflicts with views, lighting, and signage.	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
L. The project's design supports the community's energy conservation efforts.	N/A <input checked="" type="checkbox"/>

Staff Statement (A, B, D, E, and F): The site has a unique shape. The proposed design effectively provides a well-balanced composition in terms of placement of elements creating a rhythm along the street façade and reducing the massing. Landscape is proposed throughout the site, particularly along the Greenbelt. In context of the surrounding area, the proposed development would enhance the integrity and aesthetic quality of the area. Given that conditions of approval will be incorporated, the design will be further enhanced. Overall, the project updates the appearance of a property that has been underutilized. The proposed design embraces building styles that are harmonious and any potential adverse impacts to the adjacent and surrounding properties associated with the project, such as views and privacy would not be significant.

Staff Statement (C): The project has been designed to integrate the impact of sun/shadow into building and landscape design to provide for human comfort and not create heat islands with large expanses of unshaded paving.

Staff Statement (I and J): Condition of approval No.6 will ensure lighting and lighting fixtures are designed to avoid creating glare. The proposed building design supports public safety and security by allowing for surveillance of the street by people inside buildings and elsewhere on the site.

PLANNED AREA PLAN FINDINGS (Section 15.04.810):

- A. The proposed development is consistent with the General Plan, including the height, density, and intensity limitations that apply unless these limitations are to be amended.

Staff Statement: The original PA designated the parcel as a Medium Density Residential site. Subsequently, in 2012 a General Plan update was adopted. Under the 2030 General Plan, the project site allows a density of up to 40 dwelling units per acre. The proposed density of 190 residential units is approximately 23 dwelling unit per acre below the maximum allowed density. The 2030 General Plan also provides flexibility as it relates to building heights. If a project is part of an approved Planned Area District with a Medium Density designation and an appropriate environmental analysis is prepared, increases in heights can be approved.

- B. The subject site is physically suitable for the type and intensity of the land use being proposed.

Staff Statement: See response A above.

- C. Adequate transportation facilities and public services, as defined in the General Plan and in the design standards established in the Subdivision Regulations that exist or will be provided in accordance with the conditions of Planned Area Plan approval to serve the proposed development; and the approval of the proposed development will not result in a reduction of transportation service for all modes of travel or public services so as to be a detriment to public health, safety, or welfare.

Staff Statement: The site is located less than half a mile away from the El Cerrito del Norte BART Station and is adequately served by public transportation on Cutting Boulevard. In addition, a bicycle and pedestrian trail will be provided, which will connect to the Greenbelt along the northern edge of the site. There are adequate transportation facilities and public services near the project site as defined in the General Plan and the design standards in the City's subdivision regulations that will be provided in accordance with the conditions of the Planned Area Plan approval.

- D. The proposed development will not have a substantial adverse effect on surrounding land uses and will be compatible with the existing and planned land use character of the surrounding area;

Staff Statement: The project is designed to be compatible with the surrounding neighborhood and the adopted Mitigation Monitoring and Reporting Program will be added as a condition to ensure that the project will not substantially cause an adverse environmental impact.

- E. The development generally complies with applicable design guidelines; and

Staff Statement: The proposed development has been approved by the Design Review Board and determined that as currently proposed meets all applicable design guidelines (see Design review findings D above).

- F. The proposed development is demonstratively superior to the development that could occur under the standards applicable to the underlying base district, and will achieve superior community design, environmental preservation and/or substantial public benefit. In making this determination, the following factors will be considered:

- a. Appropriateness of the use(s) at the proposed location.
- b. The mix of uses, housing types, and housing price levels.
- c. Provision of units affordable to persons and families of low and moderate income or to lower income households.
- d. Provision of infrastructure improvements.
- e. Provision of open space.
- f. Compatibility of uses within the development area.

- g. Creativity in design and use of land.
- h. Quality of design, and adequacy of light and air to the interior spaces of the buildings.
- i. Overall contribution to the enhancement of neighborhood character and the environment of Richmond in the long term.

Staff Statement : Each proposed building provides a well-balanced composition in terms of placement of architectural elements creating a rhythm along the street façade and reducing the massing. Landscape is proposed throughout the site, particularly along the Greenbelt. In context of the surrounding area, the proposed development would enhance the integrity and aesthetic quality of the area. The PA plan will result in a superior urban design in comparison with the development under the base zoning district regulations that would apply if the plan were not approved. The overall design is consistent throughout the site while meeting the objective to enhance neighborhood character and the environment of Richmond in the long term.

NOW, THEREFORE BE IT RESOLVED that the City Council does hereby approve the Vesting Tentative Map, Design Review Permit, and Major Amendment to the Miraflores Plan Area Plan as set forth in Exhibit A (PLN16-401), subject to the following conditions of approval:

1. Substantial Conformance: The project shall be completed in substantial conformance with the Project Plans in Exhibit D, submitted to and received by the Richmond Planning and Building Services Department on March 15, 2018, except as may be modified by the conditions of approval for the project.
2. Environmental Mitigation Monitoring and Reporting Program: The project shall incorporate all the mitigation measures set forth in the Adopted Mitigation Monitoring and Reporting Program.
3. Conditions of Approval on Plans: All conditions of approval shall be written on the first or second page of the construction plans submitted for review and approval, along with annotations by the applicant of where the Design Review conditions have been met on the drawing set. These conditions of approval shall be on, at all times, all grading and construction plans kept on the project site.
4. Responsibility to Inform: The applicant shall be responsible for informing all subcontractors, consultants engineers, or other business entities providing services related to the project of their responsibilities to comply with all pertinent requirements herein, in the City of Richmond Municipal Code, including the requirement that a business license be obtained by all entities doing business in the City as well as hours of operation requirements in the City.
5. Changes to Design: Prior written approval from the Planning and Building Services Department Director or his/her designee shall be received by the applicants before any minor changes are made to the site design, grade, building design, building colors or materials, or related design elements. Major changes shall be subject to review by the Design Review Board or Planning Commission at the Planning and Building Services Director's discretion.
6. Exterior Lighting: Prior to issuance of any building permit, the applicant shall demonstrate that all exterior lighting has been designed and located so that all direct light is confined to the property and is satisfactory to the Planning and Building Services Director or his/her designee. Lighting shall be indirect (up or down with alabaster lens or with alabaster color lens) with a maximum 3000K if LED.
7. Private Open Space: Balconies proposed on 11-plex and 12-plex buildings on the third floor level shall be at least 60 square feet with a minimum dimension of 6 feet at any point.
8. Sidewalk: Parking stalls located next to the northern sidewalk on Ohio Avenue shall be removed to allow the widening of the sidewalk to at least 14 feet for pedestrian and bicycle users.
9. Garage Doors: A different type of garage door shall be provided for buildings 13 and 14 facing South 47th Street. The garage doors shall include a row of windows or another decorative element to further improve the overall design. The garage door design shall be submitted for

review and approval to the Planning and Building Services Director or his/her designee.

10. Articulation of Garages: Garages located on 9-plex, 11-plex, and 12-plex buildings shall be further articulated. The intent of these sketches is to modulate and reduce the mass and bulk of the garage door plane on these long buildings. The intent of the DRB was to encourage a pushing out of the doors and facades. In some cases, single doors and in other cases two doors. The door faces were to extend vertically where possible onto the second floor and to the plate level. This modification shall be submitted for review and approval to the Planning and Building Services Director or his/her designee.
11. Building Mass Reduction: The roof ridges for 11-plex and 12-plex buildings on the western side of South 47th Street shall be broken down to reduce the building mass.
12. Gates and Fencing: The applicant and the Park Plaza neighborhood council shall determine the location of gates and fences.
13. Gutters: All round gutters shall be 6½ inch round GSM mounted on a 2x6 fascia.
14. Concrete Stairs: All concrete stairs shall have a darker concrete color, which shall match the hardscape concrete color and texture.
15. Concrete Work: All concrete flat work, sidewalks and driveways shall have one pound of lamp black per yard to slightly darken the finish.
16. Maintenance: The permittee, shall, at all times, keep the property in good order. This includes repair and maintenance of all structures, fences, signs, walks, driveways, painting, etc. as may be necessary to preserve a high quality environment. All landscaped areas shall be maintained free of litter, debris and weeds. All plantings shall be permanently maintained in a healthy growing condition, and whenever necessary, replaced with equivalent planting materials to ensure continued conformance with approved plans. Every sign shall be kept up and maintained in a secure and safe condition. Signs shall be kept free of rust, corrosion, peeling paint, cracks, fading and other surface deterioration.
17. Stormwater Management During Construction: During construction activities, the applicant shall reduce or prevent to the maximum extent practicable the direct or indirect discharge of any dust or pollutant into the storm drain system utilizing best management practices contained in the California Storm Water Best Management Practices Handbook for Construction Activities. Construction activities include, but are not limited to: watering operations; roadwork and paving operations; concrete and painting; structure construction and painting; construction material storage and handling; construction waste/debris storage and disposal; and, construction equipment/vehicle cleaning, maintenance and fueling operations. The project sponsor is also responsible for training all contractors and subcontractors on the best management practices identified in the California Storm Water Best Management Practices Handbook for Construction Activities which shall be made available by the project sponsor at the pre-construct meeting of the project.
18. Encroachment Permit Required: All work within the public right-of-way, including but not limited to utilities and grading, shall be explicitly noted with the building plans. The applicant shall obtain all necessary encroachment permits from the City of Richmond Public Works Department prior to issuance of building permits for all work and construction encroach within or over the public right-of-way, including, but not limited to, balconies, fire ladders, outdoor restaurant seating, bike racks, water meters, backflow devices, signs and curb/gutter/sidewalk improvements. Easements, subject to the approval of the City Council, shall be required for any structural features extending on, over, and or under any public right of way.
19. Design Review Permit Expiration: Design Review Permit approval shall expire two years from the date of final approval, unless made permanent by the issuance of building permits and the commencement of construction. If the use(s) or structure(s) approved by this action is not established within such period of time, this approval shall be terminated and shall thereafter be null and void, unless the applicant or owner applies for an extension of time prior to expiration of the Design Review Permit approval.
20. Indemnification: The applicant agrees, on behalf of itself, its successor in interest and assigns,

to defend, indemnify, and hold harmless the City, its Council, Planning Commission, advisory boards, officers, employees, consultants and agents (hereinafter "City") from any claim, action or proceeding (hereinafter "Proceeding") brought against the City to attack, set aside, void or annul the City's actions regarding any development or land use permit, application, license, denial, approval or authorization, including, but not limited to, variances, use permits, developments plans, specific plans, general plan amendments, zoning amendments, approvals and certifications pursuant to the California Environmental Quality Act, and/or any mitigation monitoring program, or brought against the City due to acts or omissions in any way connected to the applicant's project, but excluding any approvals governed by California Government Code Section 66474.9. This indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and costs of suit, attorneys fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by applicant or City. If applicant is required to defend the City as set forth above, the City shall retain the right to select the counsel who shall defend the City.

VESTING TENTATIVE MAP

21. The applicant shall prepare a declaration of covenants, conditions and restrictions (CC&Rs) which shall be recorded and apply to each owner of a commercial condominium unit within the project. The CC&Rs shall be subject to the approval of the Zoning Administrator and City Attorney and shall be recorded at, or prior to, the time of final map approval, and shall include all applicable conditions of approval and requirements of the city. The CC&Rs shall, at a minimum, provide:
 - a. That any amendment to the CC&Rs related to the conditions of approval or other requirements of this chapter may not be approved without prior consent of the city;
 - b. That there shall be an entity created (e.g., a property or homeowners' association) which shall be financially responsible for and shall provide for the effective establishment, operation, management, use, repair and maintenance of all common areas and facilities;
 - c. A provision containing pertinent information regarding the conveyance of units and the assignment of parking, an estimate of any initial assessment fees anticipated for maintenance of common areas and facilities, and an indication of appropriate responsibilities for maintenance of all utility lines and services for each unit;
 - d. A provision addressing the payment of water, utilities, gas and electricity by the homeowner or through the association;
 - e. A provision requiring that any owner who rents his or her condominium unit shall utilize a professional property management company to manage the rental unit or that there exists a property owners' association which is responsible for management of the common areas and enforcement of the CC&Rs.
22. Property Owners' Association. Prior to the approval of a parcel or final map, a property owners' association or similar entity shall be formed for any condominium project. The association shall, at a minimum, provide for the administration, management and maintenance of all common areas, including landscaping, drive aisles and parking areas, maintenance of the exterior of all buildings, the collection of dues, payment of public utilities not billed separately to each unit, and enforcement of standards within the project.

I certify that the foregoing resolution was passed and adopted by the Council of the City of Richmond at a regular meeting thereof held June 19, 2018, by the following vote:

AYES: Councilmembers Choi, Martinez, Myrick, Recinos, and Mayor Butt.

NOES: None.

ABSTENTIONS: None.

ABSENT: Councilmember Beckles and Vice Mayor Willis.

PAMELA CHRISTIAN
CLERK OF THE CITY OF RICHMOND
(SEAL)

Approved:
TOM BUTT

Mayor

Approved as to form:
BRUCE GOODMILLER

City Attorney

State of California }
County of Contra Costa } : ss.
City of Richmond }

I certify that the foregoing is a true copy of **Resolution No. 47-18**, finally passed and adopted by the City Council of the City of Richmond at a regular meeting held on June 19, 2018.

Certified as a True Copy

PAMELA CHRISTIAN
CLERK OF THE CITY OF RICHMOND, CALIFORNIA

BY *Stephanna Lundberg*
ASSISTANT

MITIGATION MONITORING AND REPORTING PROGRAM

This chapter provides a Mitigation Monitoring and Reporting Program (MMRP) for the proposed Miraflores Housing Development Project. The purpose of the MMRP is to ensure the implementation of mitigation measures identified as part of the environmental review for the project. The MMRP includes the following information:

- ◆ A list of mitigation measures;
- ◆ The party responsible for implementing the mitigation measures;
- ◆ The timing for implementation of the mitigation measure;
- ◆ The agency responsible for monitoring the implementation; and
- ◆ The monitoring action and frequency.

The City of Richmond must adopt this MMRP, or an equally effective program, if it approves the Miraflores Housing Development Project with the mitigation measures that were adopted or made conditions of project approval.

CITY OF RICHMOND
 MIRAFLORES HOUSING DEVELOPMENT FINAL EIR
 MITIGATION MONITORING AND REPORTING PROGRAM

TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
AIR QUALITY					
<p>AQ-1: Implement control measures for remediation- and construction-related air emissions. Each project sponsor is responsible for ensuring that the contractor reduces particulate, ROC, NOx, and CO emissions by complying with BAAQMD guidelines. The project sponsor and contractor should implement the following control measures based on BAAQMD guidelines.</p> <ul style="list-style-type: none"> ◆ Cover all trucks hauling construction and demolition debris, including soil, sand and other loose materials from the site. ◆ Water on a continuous as-needed basis all earth surfaces during clearing, grading, earthmoving, and other site preparation activities. ◆ Use watering to control dust generation during demolition of structures or break-up of pavement. ◆ Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved parking areas and staging areas. ◆ Sweep daily (with water sweepers or vacuum/street sweepers) all roads, paved areas and staging areas at the site. ◆ Provide daily clean up (with a vacuum/street sweeper) if visible mud and dirt is carried onto adjacent public streets. ◆ Conduct renovation and demolition activities and removal or disturbances of any material that contain asbestos, lead paint or other hazardous pollutants in accordance with BAAQMD and <u>DTSC</u> rules and regulations. ◆ Install wheel washers for all exiting trucks, or wash off the tires or tracks of trucks and equipment leaving the site. ◆ Suspend dust-producing activities during periods when instantaneous gusts exceed 25 mph when dust control measures are unable to avoid visible plumes. ◆ Limit the area subject to excavation, grading and other con- 	Project Developer and Contractor	Remediation, site preparation, and construction phases	Richmond Planning & Building Services	Review at beginning of each phase, then monthly	

CITY OF RICHMOND
 MIRAFLORES HOUSING DEVELOPMENT FINAL EIR
 MITIGATION MONITORING AND REPORTING PROGRAM

TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<ul style="list-style-type: none"> ◆ structure or demolition activity at any one time. ◆ <u>Suspend use of all construction equipment operations during second stage smog alerts.</u> ◆ Apply soil stabilizers to previously graded portions of the site inactive for more than ten days, or cover or seed these areas. ◆ Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind. ◆ Limit traffic speeds on unpaved roads to 15 mph. ◆ Replant vegetation in disturbed areas as quickly as possible. ◆ Opacity is an indicator of exhaust particulate emissions from off-road diesel powered equipment. The project shall ensure that emissions from all construction diesel powered equipment used on the project site do not exceed 40 percent opacity for more than three minutes in any one hour. Any equipment found to exceed 40 percent opacity (or Ringelmann 2.0) shall be repaired immediately. ◆ The contractor shall install temporary electrical service whenever possible to avoid the need for independently powered equipment (e.g. compressors). ◆ Clear signage shall be posted indicating that diesel equipment standing idle for more than five minutes shall be turned off. This would include trucks waiting to deliver or receive soil, aggregate, or other bulk materials. Rotating drum concrete trucks could keep their engines running continuously as long as they were onsite and away from residences. ◆ Properly tune and maintain equipment for low emissions. ◆ <u>Configure construction parking to minimize traffic interference.</u> ◆ <u>Consolidate truck deliveries when possible.</u> ◆ <u>Establish a staging zone for trucks that are waiting to load or unload material at the work zone in a location where diesel emissions from the trucks will have minimum impact on abut-</u> 					

CITY OF RICHMOND
 MIRAFLORES HOUSING DEVELOPMENT FINAL EIR
 MITIGATION MONITORING AND REPORTING PROGRAM

TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<ul style="list-style-type: none"> ♦ <u>Locate construction equipment away from sensitive receptors such as fresh air intakes to buildings, air conditioners and operable windows.</u> ♦ <u>Implement a carpool program for construction workers.</u> ♦ <u>Prohibit the use of conventional cut-back asphalt for paving and restrict the maximum VOC content of asphalt emulsion.</u> ♦ <u>Use low-ROG paints and other low-ROG construction materials.</u> 					
BIOLOGICAL RESOURCES					
<p><u>BIO-1: Prior to issuance of a grading permit that will impact the creek, a Section 401 Certification shall be obtained from the San Francisco Bay Regional Water Quality Control Board (RWQCB), a Nationwide Wetlands Permit obtained from the Corps, and a Streambed Alteration Agreement from the California Department of Fish and Game (CDFG).</u></p>	Project Developer	Prior to issuance of a grading permit that will impact the creek	Planning & Building Services	Review and certification/permit issuance	
CULTURAL RESOURCES					
<p><u>CR-1: The proposed project would preserve the Sakai House, tank house and Greenhouse 20 of the Sakai nursery on-site. (The proposed project would also include on-site relocation and rehabilitation preservation of the Oishi House and either Greenhouse 9 or 17 of the Oishi Nursery on-site). Prior to implementation of the project, all existing buildings and landscape features shall be documented in accordance with Historic American Buildings Survey (HABS) Documentation Level III standards using archival quality photography of the exterior and interior and archival negatives of the original construction drawings. The project City shall also include a permanent, interpretive historical exhibit on the site, or if not feasible, at an appropriate public venue, that incorporates information from the historic report, historic photographs, and Historic American Landscape Survey and HABS Historic American Buildings Survey documentation.</u></p>	Richmond Community Redevelopment Agency (Agency)	Prior to demolition and prior to issuance of an occupancy permit	Planning & Building Services	Review of rehabilitation and relocation methods, preservation methods, documentation, and historical exhibit design, once, prior to demolition, then prior to issuance of an occupancy permit	

CITY OF RICHMOND
 MIRAFLORES HOUSING DEVELOPMENT FINAL EIR
 MITIGATION MONITORING AND REPORTING PROGRAM

TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<p>These measures would reduce project impacts, but not to a less-than-significant level.</p> <p>CR-2: For any archaeological resources discovered during the remediation and construction phase, all project activities in the immediate vicinity of the discovery would halt. Procedures of 36 CFR Part 800.13(b) and (c); PRC Sections 5097.94, 5097.98 and 5097.99; and the California Health and Safety Code Section 7050.5 would be followed, including calling an archaeologist or paleontologist to evaluate the materials.</p> <p>CR-3: If paleontological resources were found during site remediation and construction, work would be halted until a paleontologist could evaluate the nature and significance of the resources. If significant resources were confirmed, the OHP and the California Department of State Parks would be contacted for further guidance on documentation and preservation. Protocol for the discovery of paleontological resources during construction would be the same as that for archaeological resources, per the MOA; project activities in the immediate vicinity of the discovery would halt, and procedures of 36 CFR Part 800.13(b) and (c); PRC Sections 5097.94, 5097.98 and 5097.99; and the California Health and Safety Code Section 7050.5 would be followed, including calling an archaeologist or paleontologist to evaluate the materials.</p>	Project Contractor and Property Owner	Remediation and construction phases	Planning & Building Services	Review and verification, continuous during remediation and construction	
<p>GEOLOGY, SEISMICITY AND SOILS</p> <p>GEO-1: The following site preparation and grading measures shall be performed to address soil condition issues of existing undocumented fill and shallow groundwater.</p> <ul style="list-style-type: none"> ◆ Prior to site grading, tall grasses and weeds that cover the majority of the site shall be mowed and removed. Existing structures, foundations, trees and abandoned underground utilities, septic tanks, leach fields and other existing abandoned improvements shall be demolished and removed from the site either following or as part of site remediation. Existing fill along the north and east sides of the site shall be removed down to stiff native soil. 	Project Contractor and Project Engineer, and Project Geotechnical Consultant	Prior to issuance of permits	Planning & Building Services	Review of site conditions periodically throughout remediation and grading activity	

CITY OF RICHMOND
MIRAFLORES HOUSING DEVELOPMENT FINAL EIR
MITIGATION MONITORING AND REPORTING PROGRAM

TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<ul style="list-style-type: none"> ◆ Areas to receive fill, following remediation, shall be scarified to a depth of about 12 inches below the existing ground surface, moisture conditioned and compacted according to the requirements stipulated in the Berlogar Geotechnical Report from November 2006. ◆ The shallow patches of fill that cover most of the site shall be addressed by 12-inch deep scarification. If zones of soft or saturated soils are encountered during grading and over-excavation operations, deeper excavations may be required to expose firm soils. This shall be determined in the field by the soil engineer. ◆ Imported fill, except as provided in the RAP, shall be free of deleterious matter and rock fragments greater than 4 inches, and have a Plasticity Index of 15 or less and contain sufficient clayey binder to allow for stable utility trench excavations. ◆ All fill and backfill shall be placed in thin lifts (between 8 and 12 inches depending on compaction equipment), properly moisture conditioned and compacted to degrees indicated by the Berlogar Geotechnical Report from November 2006. ◆ Observations and soil density test shall be conducted during grading and backfill operations to obtain the proper degree of compaction and moisture content. Where compaction is outside the range required, additional reworking and moisture conditioning shall be made until the specified compaction and moisture conditioning are achieved. ◆ The soil engineer, except as provided for in the RAP, shall be notified at least 48 hours prior to any grading operations to discuss the procedure and methods of grading. 	<p>Project Contractor and Project Engineer, Project Geotechnical Consultant</p>	<p>During excavation</p>	<p>Richmond Public Works Department (Public Works)</p>	<p>Scheduled site inspections for duration of excavation and grading phases</p>	
<p>GEO-2: If excavation bottoms require stabilization due to proximity to groundwater, imported drainage rock, geotextile fabric, or lime treatment may be used to accomplish this stabilization. If groundwater is encountered during soil excavation before the limits of the soil contamination are reached, a determination shall be made to dewater and excavate further, or to discontinue the excavation.</p>					

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TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<p>vation. If the determination made is to dewater and continue the excavation, groundwater removed from the excavation shall be pumped into aboveground containers for subsequent analysis prior to treatment and/or disposal.</p> <p><u>GEO-3a:</u> Post-tension concrete slab-on-grade foundations shall be used in residential units to help reduce the potential impacts of expansive soils. Construction activities shall provide proper moisture conditioning of the sub-grade soils under building foundations and concrete pavements to mitigate the potential impacts of expansive soils. Slab foundations shall be designed by a structural engineer to-according to the following parameters:</p> <ul style="list-style-type: none"> ◆ Slab foundations shall accommodate 3 inches total soil movement and 1 inch in 25 horizontal feet differential soil movement. ◆ The subgrade of the building pad shall be presoaked to at least 7 percent over the optimum moisture content for a depth of 12 inches. Building pads shall not be allowed to dry out to less than the recommended moisture content prior to the construction of the slab. The soil engineer shall check the moisture content prior to the placement of moisture vapor retarder. <p><u>GEO-3b:</u> To reduce the effects of expansive soils on exterior concrete flatwork such as sidewalks, walkways and driveways, the following measures shall be incorporated during subgrade preparation:</p> <ul style="list-style-type: none"> ◆ The subgrade in these areas shall be scarified to a depth of at least 12 inches, properly moisture conditioned to at least 5 percent optimum moisture content and compacted between 85 and 90 percent relative compaction. ◆ The moisture content of subgrade soils shall be checked immediately prior to the placement of baserock or concrete (if supported directly on the subgrade). ◆ Any previously compacted subgrade soils that are disturbed during utility trench excavation and backfilling shall be uniformly moisture conditioned to at least 5 percent above opti- 	<p>Project Developer and Project Engineer, Contractor</p>	<p>During construction</p>	<p>Planning & Building Services</p>	<p>Scheduled site inspections for duration of excavation and grading phases</p>	
	<p>Project Developer and Project Engineer, Contractor</p>	<p>During subgrade preparation and plan review</p>	<p>Planning & Building Services, Public Works Department</p>	<p>Scheduled site inspections during subgrade preparation</p>	

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 MITIGATION MONITORING AND REPORTING PROGRAM

TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<p>imum moisture content and recompacted to between 85 and 90 percent relative compaction to provide a smooth and unyielding surface.</p>					
HYDROLOGY AND WATER QUALITY					
<p>HYDRO-1: The following measures shall be incorporated into the restoration design of Baxter Creek to reduce the potential for erosion:</p> <ul style="list-style-type: none"> ◆ Conduct hydrologic flood modeling to determine the appropriate width and design of the creek channel to disperse creek flow velocity and convey water without increasing erosion. ◆ Cut creek banks at gradients no steeper than two-foot horizontal to one-foot vertical (2H:1V) to reduce the risk of erosion in the creek channel. ◆ Plant native vegetation within the creek channel and floodplain to provide groundcover to prevent erosion from bare soils. ◆ Where flood modeling indicates unavoidable increases in water velocity, use soil bioengineering in areas of the restored channel. (Soil bioengineering is the use of structural support and vegetative cover of natural materials to provide structure and support to prevent creek bank erosion and restore natural stream habitat.) Include the use of woody cuttings and poles or posts collected from native plants to provide structural support, control creek bank erosion and restore natural stream habitat. Exact methods used and locations would be determined through further planning and design. ◆ Channel hardening would be used as needed at the transition between the restored channel and culvert outfalls and infalls to prevent erosion. Channel hardening would be limited to areas where soil bioengineering is incapable of addressing the potential for erosion due to high velocities caused by supercritical flow. 	Project Engineer	Final Site Plan Design	Planning & Building Services, Public Works	Review and approval of Final Site Plan Design, scheduled site inspections	
<p>HYDRO-2: To address risks associated with erosion and flooding, the following features shall be incorporated into the final creek</p>	Project Engineer	Final Site Plan Design, creek restoration and drainage plan	Planning & Building Services, Public Works	Approval of Final Site Plan Design, scheduled site	

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TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
restoration design:		review		inspections	
<ul style="list-style-type: none"> ◆ Locate the creek channel within a wide floodplain, with widths throughout most of the floodplain at approximately 120 feet to 140 feet wide to provide increased capacity for out-of-channel flooding. ◆ Conduct hydrologic flood modeling to assess the effects of detention storage on the system. The model run will be used to design flood detention storage or peak attenuation as needed to meet the NPDES C.3 regulations. ◆ Incorporate creek bank stabilization measures, including grading, bioengineering and hardening, in the final design to demonstrate that erosion and flooding impacts are mitigated. ◆ Incorporate landscaping throughout the creek channel and floodplain to prevent erosion. ◆ Design floodwalls and landscape berms to increase storage of flows within the creek channel and accommodate break-out flows at the downstream end of the restored creek at Wall Avenue. Based on the modeling results, the dimensions and placement of floodwalls and landscaped berms would be determined. 					
NOISE					
NOI-1a: During final design of the project, a detailed acoustical analysis of exterior and interior noise reduction requirements and specifications shall be conducted by a qualified Acoustical Specialist in accordance with City of Richmond and HUD standards.	Project Developer and Acoustical Specialist	Final Site Plan Design	Planning & Building Services	Plan review, scheduled site inspections	
NOI-1b: During the final site plan design, noise-sensitive outdoor use areas shall be located away from Interstate 80 and BART wherever possible. Noise-sensitive spaces shall be shielded with buildings or noise barriers whenever possible to maintain exterior noise levels of 65 L _{dn} or less at multi-family housing. Potential noise barrier locations are shown in Figure 4.11-4.	Project Developer and Project Architect	Final Site Plan Design	Planning & Building Services	Plan review, scheduled site inspections	
NOI-1c: Design and construction of noise barriers shall be incorporated.	Project Developer and Acoustical Specialist	Final Site Plan Design	Planning & Building Services	Plan review, scheduled site inspections	

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TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<p>porated to reduce BART noise at private exterior use areas at multi-family homes proposed in the north part of the site to 65 L_{dn} or less. Design and construction of noise barriers shall be incorporated to reduce Interstate 80 traffic noise at ground-level outdoor use areas of multi-family homes along the eastern portion of the site bordering the open space area (i.e. near Interstate 80). Preliminary calculations indicate that 6- to 8-foot high walls or solid fences would be necessary to protect these areas from BART and traffic noise. The final detailed design of the heights and limits of these barriers shall be completed at the time that the final grading and site plans are submitted.</p> <p>NOI-1d: A project-specific acoustical analysis where exterior levels exceed 60 dBA L_{dn} shall be conducted. Results of the analysis, including the description of the necessary noise control treatments, shall be submitted along with the building plans and approved prior to issuance of a building permit. Feasible construction techniques such as those listed below would adequately reduce interior noise levels to 45 dBA L_{dn} or lower.</p> <ul style="list-style-type: none"> ◆ Building sound insulation shall be provided for a minimum of 5 decibels additional sound attenuation (minimum 25 dBA exterior-to-interior noise reduction) at first and second stories, and 10 decibels (minimum 30 dBA exterior-to-interior noise reduction) at third stories or higher. ◆ Special building construction techniques including sound-rated windows, doors, building façade treatments, sound-rated wall constructions and acoustical caulking may be required for new residential uses adjacent to Interstate 80 and BART. 	Project Developer and Acoustical Specialist	Final site plan design	Planning and Building Services	Plan review, scheduled site inspections	
<p>NOI-2a: Prior to initiation of the project, the contractor shall prepare and submit a noise monitoring plan for the construction and remediation phases to the City. The noise monitoring plan shall identify monitoring locations and frequency, instrumentation to be used, and appropriate noise control measures that can be incorporated. The plan shall include the following provisions:</p> <ul style="list-style-type: none"> ◆ Noise levels shall be measured for comparison to the noise limits set forth in the Richmond Noise Ordinance. 	Project Developer and Contractor	Prior to issuance of demolition or grading permit	Planning & Building Services	Noise monitoring at the beginning of each new phase of construction and remediation and when noise levels are expected to change	

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MITIGATION MONITORING AND REPORTING PROGRAM

TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
<ul style="list-style-type: none"> ◆ Noise levels shall be monitored at locations representing the highest noise exposure levels to the west and south of the project site. ◆ Noise monitoring shall occur at the beginning of each major phase of construction and remediation, and/or when noise levels are expected to change. 					
<u>NOI-2b:</u> Noise-generating construction and remediation activity shall comply with City construction noise standards and shall be limited to daytime hours.	Project Developer and Contractor	Remediation and construction phases	Planning & Building Services	Scheduled site inspections	
<u>NOI-2c:</u> All internal combustion engine-driven equipment shall be equipped with intake and exhaust mufflers that are in good condition and appropriate for the equipment.	Project Developer and Contractor	Remediation and construction phases	Planning & Building Services	Scheduled site inspections	
<u>NOI-2d:</u> Stationary noise-generating equipment shall be located as far as possible from sensitive receptors when sensitive receptors adjoin or are near a construction project area.	Project Developer and Contractor	Remediation and construction phases	Planning & Building Services	Scheduled site inspections	
<u>NOI-2e:</u> Construction and remediation equipment shall utilize state of the art noise suppression techniques and be shielded with temporary noise barriers to reduce temporary, construction-related noise impacts.	Project Developer and Contractor	Remediation and construction phases	Planning & Building Services	Scheduled site inspections	
<u>NOI-2f:</u> The contractor shall prepare a detailed construction plan identifying the schedule for major noise-generating construction and remediation activities. This plan shall identify a procedure for coordination with the adjacent noise sensitive facilities so that construction and remediation activities and the event schedule can be scheduled to minimize noise disturbance.	Project Developer and Contractor	Prior to issuance of grading permit	Planning & Building Services	Scheduled site inspections	
<u>NOI-2g:</u> A "disturbance coordinator" shall be designated who would be responsible for responding to any local complaints about construction and remediation noise. The disturbance coordinator will determine the cause of the noise complaint (e.g. starting too early, bad muffler, etc.) and will require that reasonable measures warranted to correct the problem be implemented. A telephone number for the disturbance coordinator shall be conspicuously posted at the construction site and included in the notice sent to neighbors regarding the construction schedule. The City shall be	Project Developer and Project Disturbance Coordinator	Remediation and construction phases	Planning and Building Services	Scheduled site inspections	

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TABLE 1 MITIGATION MONITORING AND REPORTING PROGRAM (CONTINUED)

Mitigation Measures	Implemented By	When Implemented	Monitored By	Monitoring Action and Frequency	Verification By/Date
responsible for designating a noise disturbance coordinator and the individual project sponsor shall be responsible for posting the phone number and providing construction schedule notices.	Project Developer and Contractor	Remediation and construction phases	Planning & Building Services	Continuous during remediation and construction	
NOI-2h: During construction and remediation, trucks and equipment shall be running only when necessary.	Project Developer and Contractor	Remediation and construction phases	Planning & Building Services	Monitoring study per Federal Transit Agency guidelines	
NOI-3: For residential buildings to be constructed within 100 feet of the BART tracks, an on-site vibration monitoring study and building design study shall be completed pursuant to Federal Transit Agency Guidelines during project design. Based on the results of the vibration study, control measures to reduce floor vibrations to acceptable levels, such as foundation stiffening, shall be designed and implemented.	Project Developer and Project Structural Engineer	During Final Site Plan Design	Planning & Building Services	Monitoring study per Federal Transit Agency guidelines	

Planned Area Plan

Introduction

The PA Plan envisions development of up to 80 units of affordable, rental senior housing, 190 for sale multi-family residential units , a tot-lot and mixed-use green belt that would include space for recreation and an agricultural activities (“Project”). The proposed project includes the demolition or rehabilitation of identified historic structures; implementation of a Remedial Action Plan (RAP); the daylighting of a portion of Baxter Creek; and, associated landscaping and site improvements.

The total Project is located on approximately 14.12 acres, commonly known as the Sakai, Oishi, and Maida-Endo Nurseries,” in the Park Plaza neighborhood of the City of Richmond, Contra Costa County, California (“Project Site”). The Project Site is generally bounded by South 45th Street to the west, Wall Avenue to the south, Interstate 80 to the east, and the BART to the north. The multi-family is approximately 8.17 acres.

Land uses adjacent to the Project Site are mostly occupied by single– and multi-family residential units.

Plan Elements

PA Plan elements include residential development with related amenities and a public park with associated trails.

Residential Uses

The Planned Area (“PA”) Plan for the Project includes the development of 80 units of affordable senior housing, 190 for sale residential units (30 of which will be moderate-income units). The senior development is proposed to be two stories and the for-sale housing will vary from three to four stories with building heights not greater than 50 feet. The for-sale housing units will range from approximately 1,540 SF (2 bedroom units) to 1,854 SF (3 bedroom units). The senior housing units will be approximately 500 SF.

Site and Park Improvements

The Project will include new City-owned streets that will be improved per city specifications. A total tot lot that would include the rehabilitated Sakai house, Green house 20 and water tower is proposed near the center of the development and a greenbelt approximately 220 feet wide will run along the property adjacent to I-80 for recreation and agricultural uses. The greenbelt will also contain a multi-use trail and a daylighted portion of Baxter Creek.

Additionally, the Project will include landscaped common areas with lighted walkways. All landscaping and recreational area maintenance is anticipated to be provided by a Landscaping and Lighting District.

Project Access/Circulation

The Project includes new road ways that would continue the existing street grid pattern. Access to the Project Site will be via Wall Avenue, South 47th Street, Florida Avenue, and South 45th Street.

A total of approximately 464 parking spaces will be provided. The Project will have 406 off-street parking spaces and 58 on-street parking spaces.

Utility Services

Existing sewer systems in the area have sufficient capacity available to serve the Project. All existing utilities will have to be extended to serve the proposed development.

PA Plan

All requirements set forth in Richmond Municipal Code Article 15.04.810 apply to the Project, including but not limited to:

- The PA Plan shall be effective on the same date as the ordinance creating the PA district for which it was approved and shall expire five years after the effective date unless a building permit has been issued and construction diligently pursued.
- The Planning Director or his/her designee shall review the building permit applications to ensure compliance with the conditions of PA district approval.

Allowable Land Uses

The following permitted and conditional uses are allowed in the Miraflores PA District.

Permitted Uses. The following uses shall be permitted. Similar uses may be permitted by interpretation of the Planning Director or designee.

Residential Uses.

Multifamily residential

Commercial Uses

Home occupations

Retail- Convenience Store, subject to a Conditional Use Permit

Open Space and Recreational Uses.

Parks, open space, including urban agriculture, and bike and pedestrian trails

Accessory Uses

Accessory uses and buildings shall be permitted as set forth in Richmond Municipal Code Section 15.04.601.010.

Development Standards

The following development standards shall apply in the Miraflores PA District.

Residential Unit Types. The following unit types are allowed in the Miraflores PA District.

- *Multi-family apartments*

The following densities apply to the Miraflores PA District.

Housing Type	Gross Acreage	Net Acreage*	Unit Range**	
			Minimum	Maximum
Medium Density Residential	14.12 ±	11.2 ±	[10 du/ac x net acreage]	[40 du/ac x net acreage]

* Net acreage is assumed to comprise 80 percent of gross acreage.

** The General Plan Medium Density Residential designation permits 10-40 units/net acre. (General Plan Land Use Element, Table 3.1.)

Housing Type and Unit Counts. A range of housing units is planned for the Project Site. Specific development standards pertaining to minimum parcel area, maximum building height and minimum setbacks are as follows:

Type	Number of Buildings	Total Units	Elevation Style	Total SF
5-Plex	4	20	A,B	8,952
6-Plex	1	6	A	10,594
8-Plex	1	8	C	13,972
9-Plex	11	99	A,B,C	15,614
11-Plex	3	33	A,B,C	18,992
12-Plex	2	24	C	20,634
Total	22	190		

Architecture. The Planned Area residential development shall be constructed in substantial compliance with the final architectural plan set approved by the Design Review Board and the Planning and Building Services Department as complying with all conditions of approval for the Miraflores Project.

Open Space Requirements. To maximize the amount of common, contiguous open space throughout the Project Site, the open space requirements for the senior development shall not require private open space per unit. Common open space shall be provided in substantial compliance with the preliminary site plan approved as part of the PA district. The for sale multi-family residential project shall include private open space.

Performance Standards.

The uses in this PA district must comply with all applicable performance standards delineated in the Richmond Municipal Code Section 15.04.608.

Parking and Loading Standards, Except as modified by the PA district, all parking and loading must comply with the provisions of Richmond Municipal Code Section 15.04.607.

Parking Dimension:

<u>Standard open/garage</u>	<u>Compact</u>	<u>Tandem (Garage)</u>	<u>Handicapped</u>
9'-0" x 18'-6"/ 10' x 20'	8'-0" x 16'-0"	10' x 18'-6"	9'-0" x 18'-6"

Landscape. Landscape and fencing shall be installed in substantial compliance with the final site plan set approved by the Design Review and City of Richmond Planning Department as complying with all conditions of approval for the Miraflores Project.

Signs. All signs must comply with the applicable provisions of Richmond Municipal Code Section 15.04.609 and the Sign Code (Chapter 4.04).

Implementation

Approval of the PA Plan will constitute final zoning for the Miraflores Project Site. Issuance of building permits would require a tentative map and design review approval by the Design Review Board.



11 - Plex Elevation A

12 - Plex Elevation C

SHEET INDEX

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DRB CONDITIONS OF APPROVAL

ALL DRB CONDITIONS WITH ARCHITECTURAL RESPONSE BELOW

- R5.) **Exterior Lighting:** Prior to issuance of any building permit, the applicant shall demonstrate that all exterior lighting has been designed and located so that all direct light is confined to the property and is satisfactory to the Planning and Building Services Director or his/her designee. Lighting shall be indirect (up or down with alabaster lens or with alabaster color lens) with a maximum 3000K if LED. *See Sheets: A1.3, A1.4, A1.5, A1.6, A1.7, A1.8, A2.3, A2.4, A2.5, A3.3, A3.4, A3.5, A4.3, A4.4, A4.5, A4.6, A4.7, A4.8, A4.9, A4.10, A4.11, A5.3, A5.4, A5.5, A5.6, A5.8, A6.3, A6.4, A6.5 & A7.10*
- R6.) **Private Open Space:** Balconies proposed on 11-plex and 12-plex buildings on the third floor level shall be at least 60 square feet with a minimum dimension of 6 feet at any point. *See Sheets: A5.1 & A6.1*
- R8.) **Garage Doors:** A different type of garage door shall be provided for buildings 13 and 14 facing South 47th Street. The garage doors shall include a row of windows or another decorative element to further improve the overall design. The garage door design shall be submitted for review and approval to the Planning and Building Services Director or his/her designee. *See Sheets: A5.5 & A6.5*

- R9.) **Articulation of Design:** Garages located on 9-plex, 11-plex, and 12-plex buildings shall be further articulated. The intent is the modulate and reduce the mass and bulk of the garage door plane on these long buildings. The intent of the DRB was to encourage a pushing out of the doors and facades. In some cases, single doors and in other cases two doors. The door faces were to extend vertically where possible onto the second floor and to the plate level. This modification shall be submitted for review and approval to the Planning and Building Services Director or his/her designee. *See Sheets: A4.1, A4.4, A4.5, A4.7, A4.8, A4.10, A4.11, A5.1, A5.4, A5.5, A5.7, A5.8, A6.1, A6.4 & A6.5*
- R10.) **Building Mass Reduction:** The roof ridges for 11-plex and 12-plex buildings on the western side of South 47th Street shall be broken down to reduce building mass. *See Sheets: A5.2, A5.3, A5.4, A5.5, A5.6, A5.7, A5.8, A6.2, A6.3, A6.4 & A6.5*
- R12.) **Gutters:** All round gutters shall be 6 1/2 inch round GSM mounted on a 2x6 fascia. *See Sheets: A1.3, A1.6, A2.3, A3.3, A4.3, A4.6, A4.9, A5.3, A5.6 & A6.3*
- R13.) **Concrete Stairs:** All concrete stairs shall have a darker concrete color, which shall match the hardscape concrete color and texture. *See Sheets: A1.3, A1.6, A2.3, A3.3, A4.3, A4.6, A4.9, A5.3, A5.6 & A6.3*

*For all DRB items, see DRB Conditions of Approval 2/23/18

Miraflores

Richmond, CA ■ Miraflores Community Devco



UNIT SUMMARY

UNIT PLANS:

PLAN #	TOTAL SF	OPEN SPACE	BDRM.	BATH	PLAN COUNT
PLAN 1	1,801 SF	82 SF	3	2	8
PLAN 2	1,540 SF	126 SF	2	2	22
PLAN 3	1,641 SF	125 SF	3	2	36
PLAN 4	1,700 SF	64 SF	3	3	22
PLAN 5	1,767 SF	73 SF	3	3	22
PLAN 6	1,826 SF	65 SF	3	3	36
PLAN 7	1,830 SF	67 SF	3	3	36
PLAN 8	1,854 SF	82 SF	3	2	8

BUILDING SUMMARY

BUILDING #	TOTAL SF	PLANS INCLUDED
5 PLEX	8,952 SF	1, 3, 6, 7, 8
6 PLEX	10,594 SF	3, 6, 7
8 PLEX	13,972 SF	1, 2, 3, 4, 5, 6, 7, 8
9 PLEX	15,614 SF	2, 3, 4, 5, 6, 7
11 PLEX	18,992 SF	1, 2, 3, 4, 5, 6, 7, 8
12 PLEX	20,634 SF	2, 3, 4, 5, 6, 7

NOTE: BOLD PLAN NUMBERS OCCUR TWICE

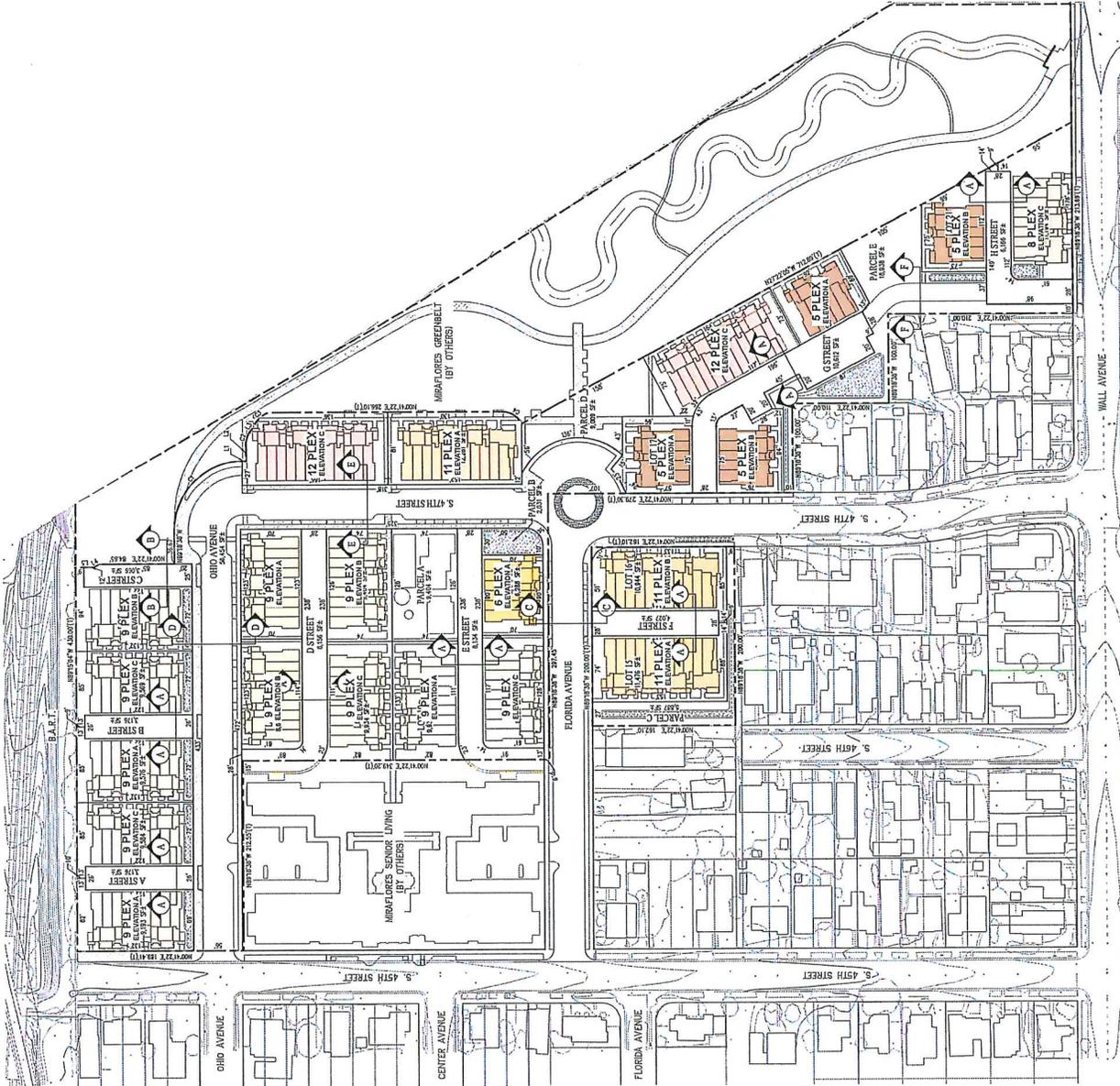
BUILDING MIX

TYPE	# BUILDINGS	TOTAL UNITS	ELEVATION STYLES
5-PLEX	4	20	A, B
6-PLEX	1	6	A
8-PLEX	1	8	C
9-PLEX	11	99	A, B, C
11-PLEX	3	33	A, B
12-PLEX	2	24	C
TOTAL	22	190	

LEGEND:

- 5 PLEX
- 8,952 SF Total
- 6 PLEX
- 10,594 SF Total
- 8 PLEX
- 13,972 SF Total
- 9 PLEX
- 15,614 SF Total
- 11 PLEX
- 18,992 SF Total
- 12 PLEX
- 20,634 SF Total

REVISIONS FOR CONDITION OF APPROVAL:
R6. ALL BALCONIES ON 11-PLEX AND 12-PLEX BUILDINGS ON THIRD FLOOR LEVEL SHALL BE AT LEAST 60 SQ.FT. WHERE 6' DEPTH OCCURS



Miraflores

Conceptual Site Plan & Building Mix

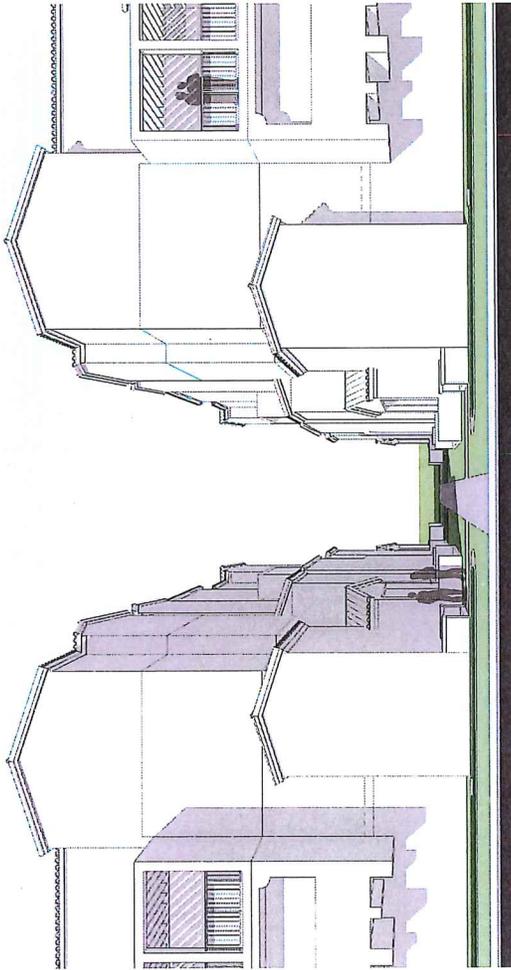
Richmond, CA ■ Miraflores Community Devco



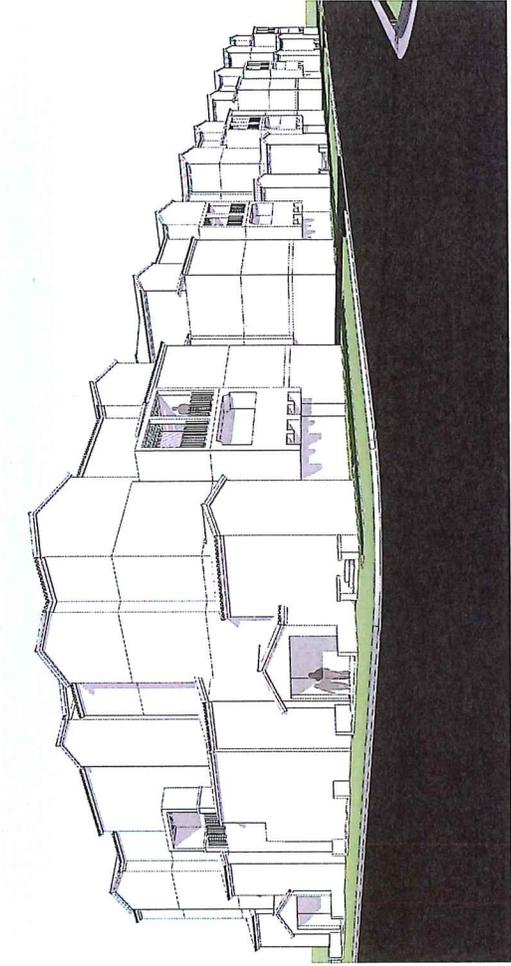
March 15, 2018

A-SP-1

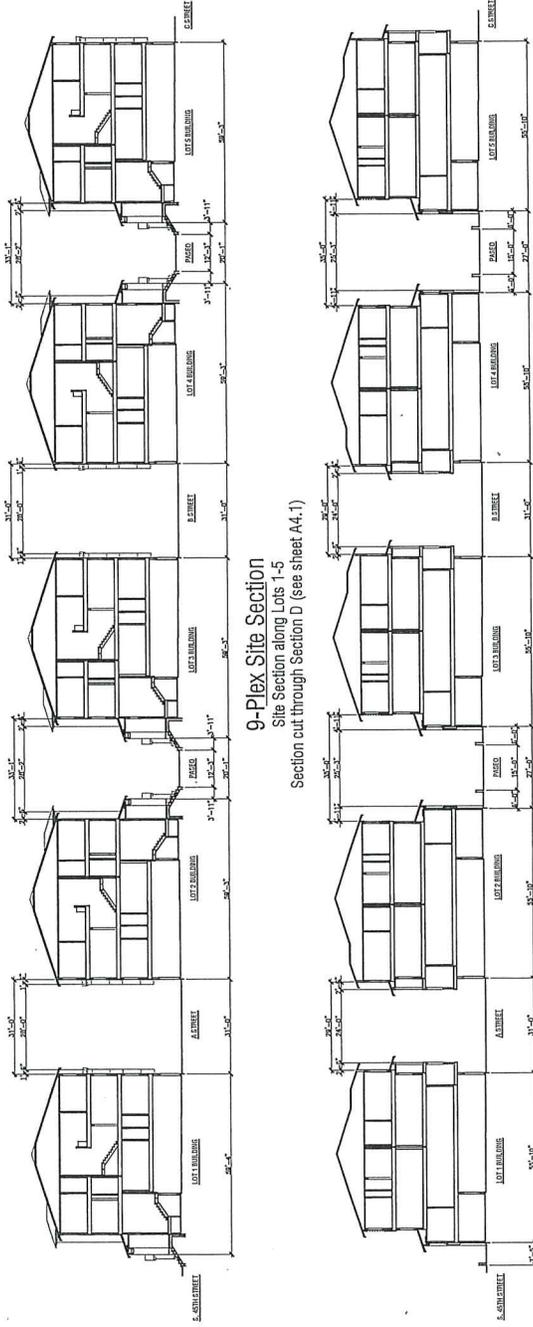
WILLIAM HECHTMAN & CO.
 ARCHITECTS
 2000 CALIFORNIA AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78202
 TEL: 214.343.1111 FAX: 214.343.1112
 WWW.WHECHTMAN.COM



Perspective A
View down Paseo



Perspective B
View down Ohio Street



9-Plex Site Section
Site Section along Lots 1-5
Section cut through Section D (see sheet A4.1)

9-Plex Site Section
Site Section along Lots 1-5
Section cut through Section C (see sheet A4.1)

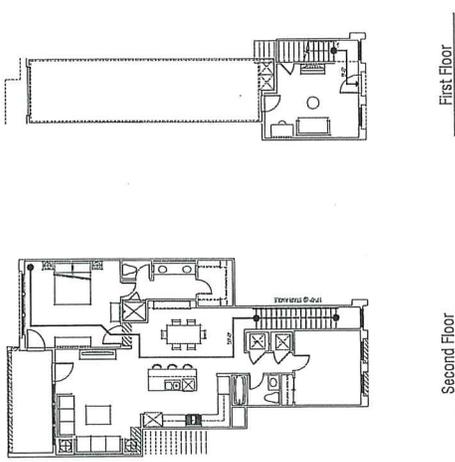
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WILLIAM E. BLAKES
A PROFESSIONAL ENGINEER
LICENSED UNDER THE BOARD OF PROFESSIONAL ENGINEERS
AND ARCHITECTS, STATE OF CALIFORNIA, LICENSE NO. 101114
300 25th Street, Suite 200, San Francisco, CA 94104
415.774.8888

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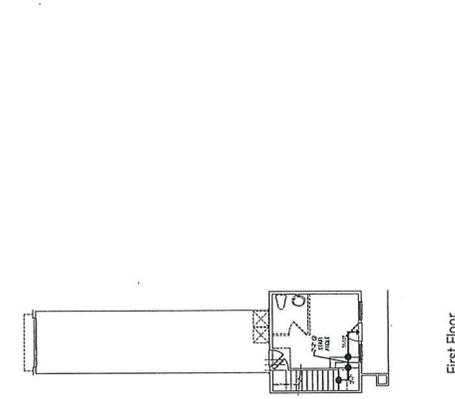
A-SP-2



Second Floor

First Floor

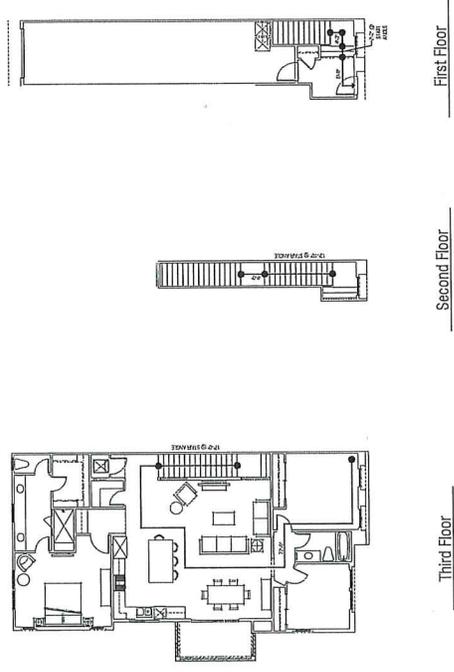
Plan 2
76-6" Total Common Path of Travel
(125'-0" max)



Second Floor

First Floor

Plan 3
84-4" Total Common Path of Travel
(125'-0" max)

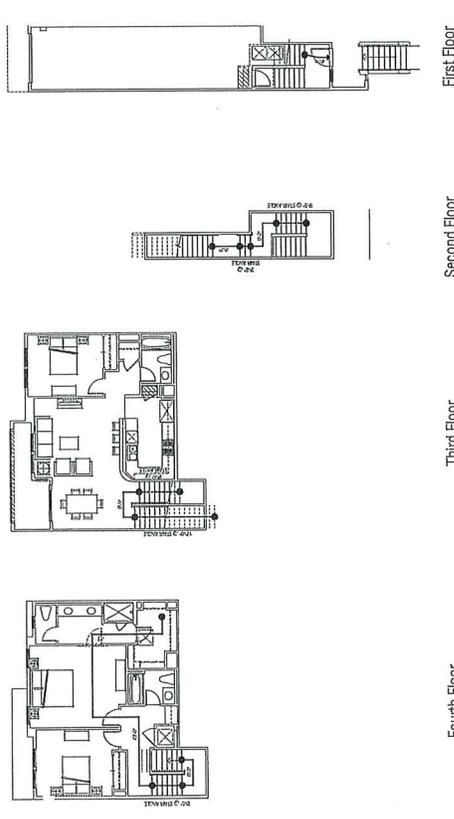


Third Floor

Second Floor

First Floor

Plan 1
120-10" Total Common Path of Travel
(125'-0" max)



Fourth Floor

Third Floor

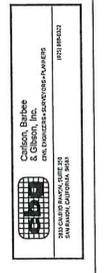
Second Floor

First Floor

Plan 4
123-10" Total Common Path of Travel
(125'-0" max)

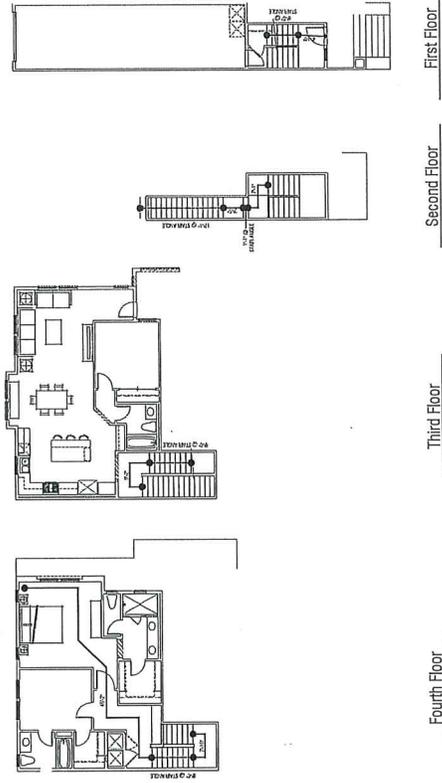
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Egress Travel Calculations



WILLIAM H. BLANCH ARCHITECTS, INC.
ARCHITECTS
1000 UNIVERSITY AVENUE, SUITE 100, SAN PABLO, CA 94806
415.465.1000 www.williamhblanch.com

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A0.1



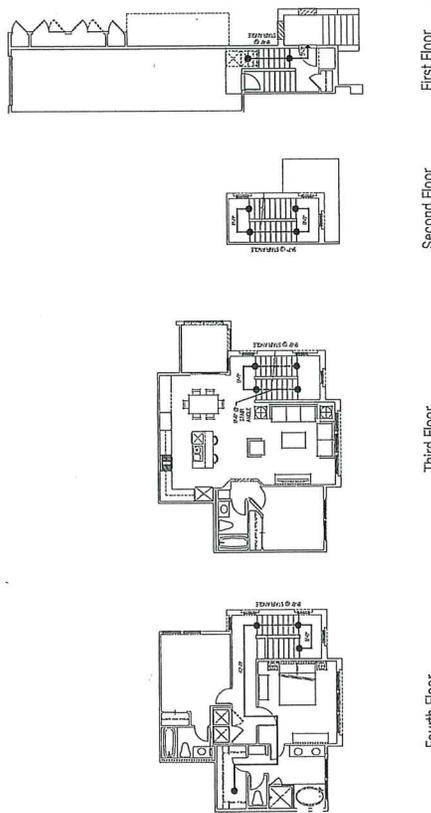
Fourth Floor

Third Floor

Second Floor

First Floor

Plan 6
120'-3" Total Common Path of Travel
(125'-0" max)



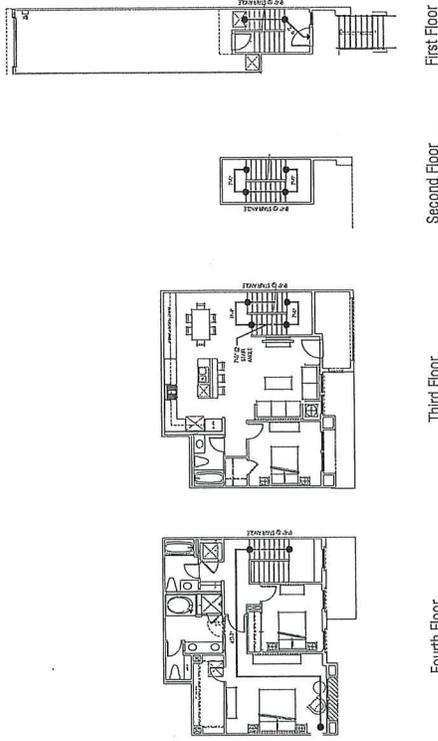
Fourth Floor

Third Floor

Second Floor

First Floor

Plan 7
122'-10" Total Common Path of Travel
(125'-0" max)



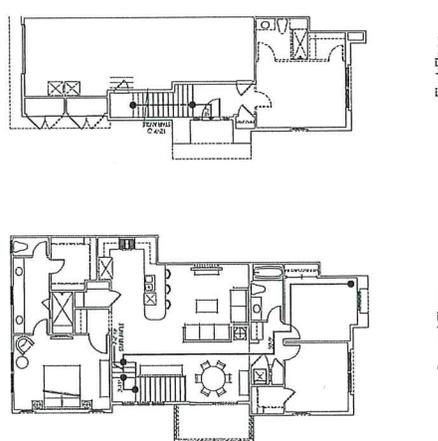
Fourth Floor

Third Floor

Second Floor

First Floor

Plan 5
123'-0" Total Common Path of Travel
(125'-0" max)



Second Floor

First Floor

Plan 8
76'-2" Total Common Path of Travel
(125'-0" max)

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Egress Travel Calculations

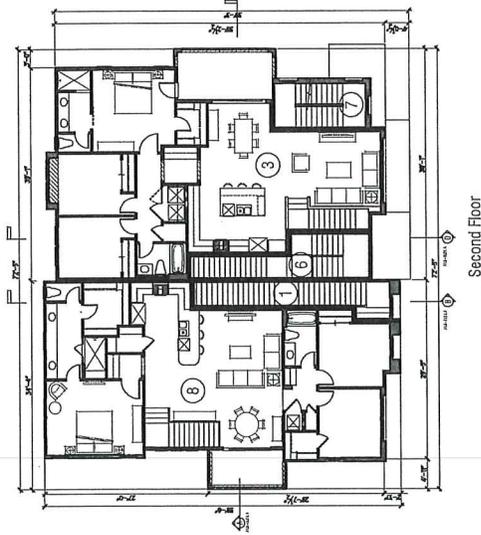



 Miraflores, Inc.
 2000 S. 10th Street
 Richmond, CA 94804
 Phone: (510) 261-1111
 Fax: (510) 261-1112
 Website: www.miraflores.com

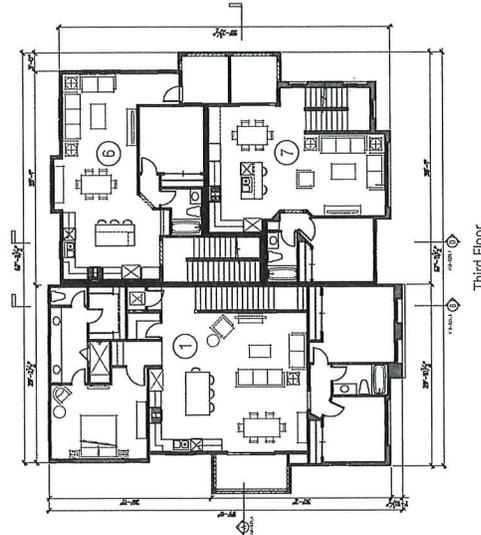
March 15, 2018

A0.2

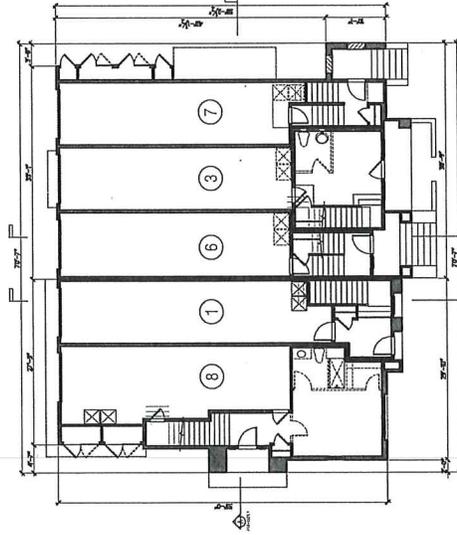

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 3000 CALIFORNIA AVENUE, SUITE 200
 SAN FRANCISCO, CALIFORNIA 94134
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 WWW.MIRAFLORESARCHITECTS.COM



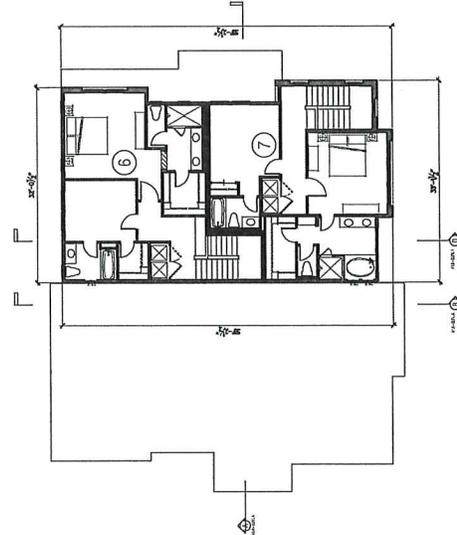
Second Floor



Third Floor



First Floor



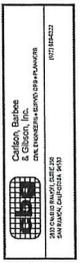
Fourth Floor

PLAN 1	Refer to A7.1	PLAN 7	Refer to A7.7
PLAN 3	Refer to A7.3	PLAN 8	Refer to A7.8
PLAN 6	Refer to A7.6		

March 15, 2018

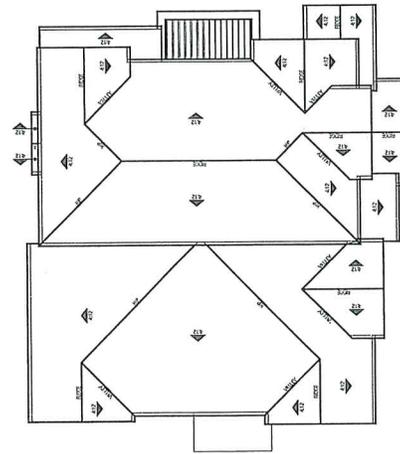
A1.1

WILLIAM W. WALSH ARCHITECTS, INC.
 200 CALIFORNIA STREET, SUITE 200, SAN FRANCISCO, CA 94102
 TEL: 415.774.2500 FAX: 415.774.2501 WWW.WWVA.COM

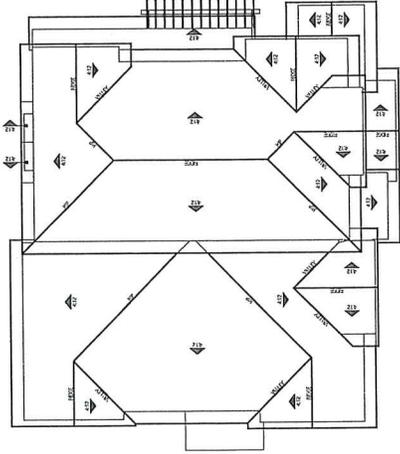


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5-Plex Building Plans
 0 8 16 24



Elevation B
Roof Plan



Elevation A
Roof Plan

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5-Plex Roof Plans



March 15, 2018

A1.2

WILLIAM H. HAHN
ARCHITECTS, INC.
1000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78204
249.750.1000 www.williamhahn.com

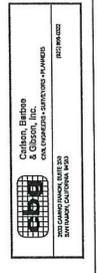


"A" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 1

1. CONCRETE TILE ROOF
2. WOOD FASCIA (1/2" ROUND GALVANIZED STEEL GUTTERS, TYP.)
3. STUCCO (OVER FIBERGLASS)
4. STUCCO COVER FRAME TRIM
5. INSULATED VINYL WINDOWS
6. WOOD RAILING (SANDED FOUR SIDES)
7. WOOD TRELLIS (ROUGH SAWN)
8. FIBERGLASS FRONT DOOR (COLLECTION), REFER TO SHEET A7.10
9. ALUMINUM SECTIONAL GARAGE DOOR
10. ALUMINUM SECTIONAL GARAGE DOOR
11. STUCCO RECESS GABLE DETAIL

Front Elevation

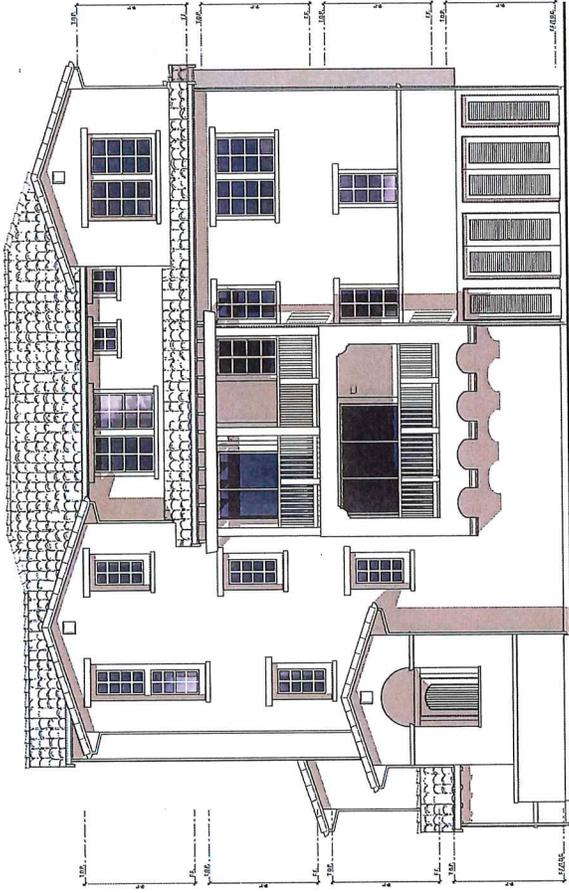
REVISIONS FOR CONDITION OF APPROVAL:
 RS. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
 RT2. GUTTERS SHOWN 6 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
 RT3. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE



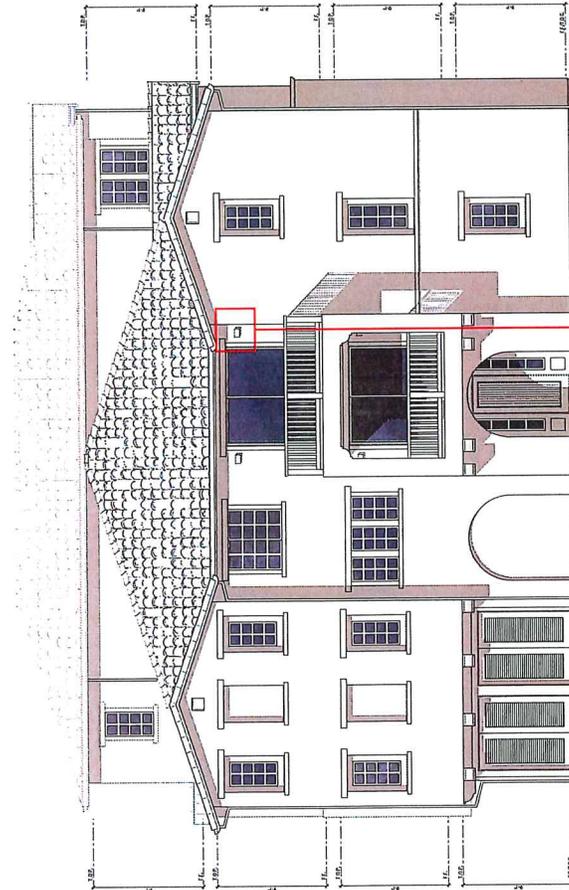
March 15, 2018

A1.3





Right Elevation



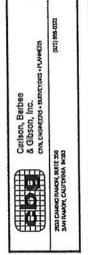
Left Elevation

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS
 (HINKLEY LIGHTING, LUNA COLLECTION)

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5-Plex Elevation 'A'



March 15, 2018

A1.4

WILLOW DEVCO, INC.
 2000 CALIFORNIA AVENUE, SUITE 200
 RICHMOND, CALIFORNIA 94804
 TEL: 510.261.9600 www.willowdevco.com



Rear Elevation

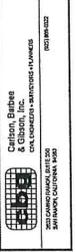
***A* - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME.1**
 9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
 10. ALUMINUM SECTIONAL GARAGE DOOR

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)

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5-Plex Elevation 'A'



March 15, 2018

A1.5

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 2000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78208
 TEL: 214.343.1111 WWW.WHBLANCHE.COM



"B" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 2

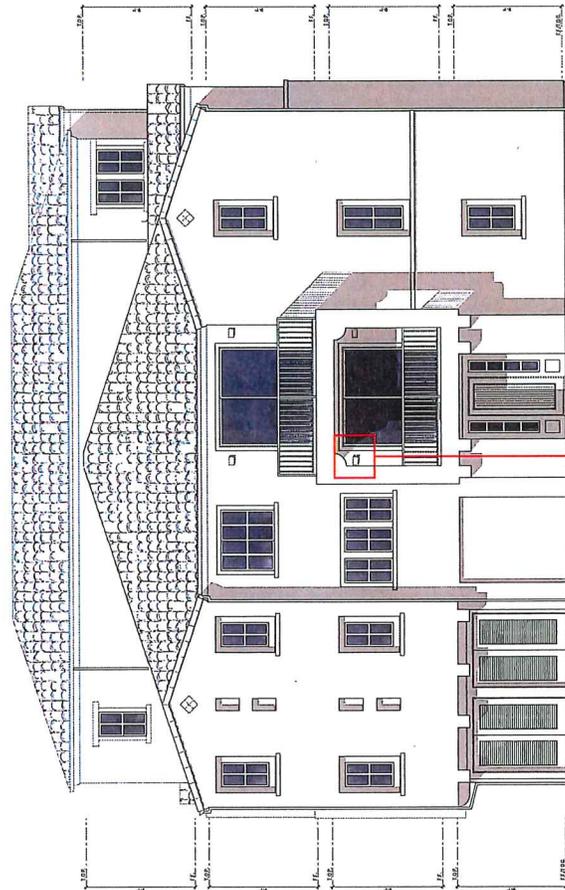
1. CONCRETE S-TILE ROOF
2. WOOD FASCIA (V. HALL FINISH)
3. STUCCO OVER FOAM TRIM
4. INSULATED VINYL WINDOWS
5. METAL RAILING W/ POWDER COAT
6. WOOD TRELLIS (ROUGH SAWN)
7. FIBERGLASS FRINGE (LOUVER COLLECTION)
8. ALUMINUM SECTIONAL GARAGE DOOR
9. CERAMIC TILE DETAIL - REFER TO SHEET A7.9
10. ALUMINUM SECTIONAL GARAGE DOOR
11. CERAMIC TILE DETAIL - REFER TO SHEET A7.9

Front Elevation

R13

- REVISIONS FOR CONDITION OF APPROVAL:**
- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
 - R12. GUTTERS SHOWN AS 1/2 ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
 - R13. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE





Left Elevation



Right Elevation

REVISIONS FOR CONDITION OF APPROVAL:

- 5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS. (HINKLEY LIGHTING, LUNA COLLECTION)
- 12. GUTTERS SHOWN 6 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA

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5-Plex Elevation 'B'



March 15, 2018

A1.7

WALTON HEATHMAN ARCHITECTS
 300 CALIFORNIA AVENUE, SUITE 200, SAN FRANCISCO, CA 94102
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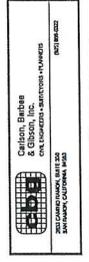
"B" - ELEVATIONS - BUILDING MATERIALS: COLOR SCHEME 2
 9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
 10. ALUMINUM SECTIONAL GARAGE DOOR

Rear Elevation

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)

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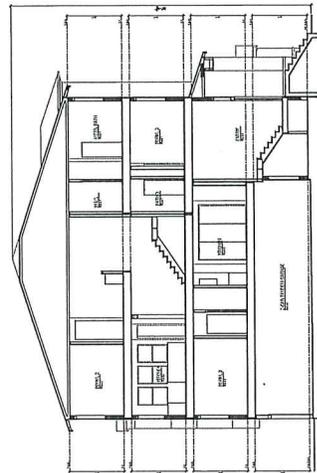
5-Plex Elevation 'B'
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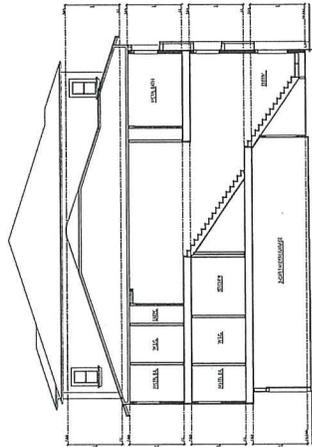
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 2000 CALIFORNIA STREET, SUITE 200
 RICHMOND, CA 94804
 TEL: 415.771.1234
 FAX: 415.771.1235
 WWW.WHARCHITECTS.COM

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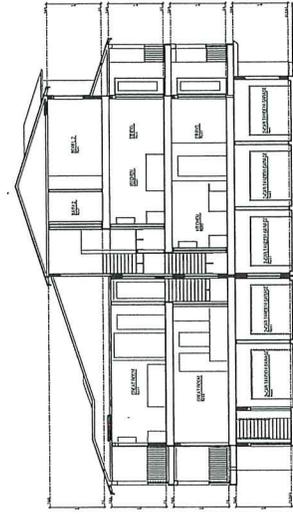
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Section D



Section B



Section A

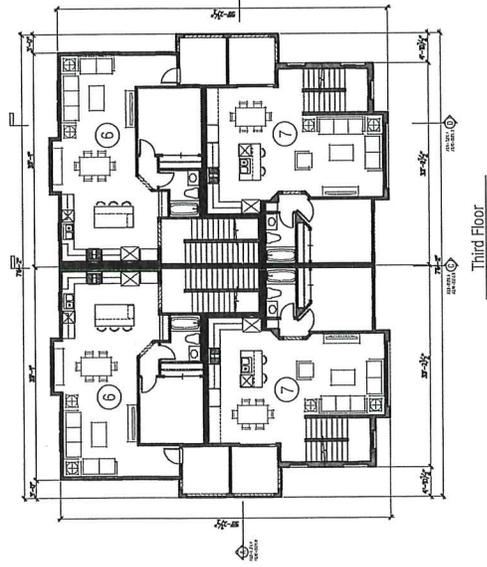
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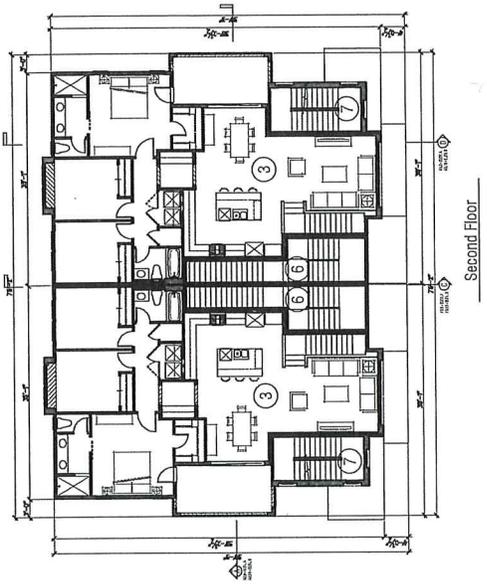
5-Plex Sections



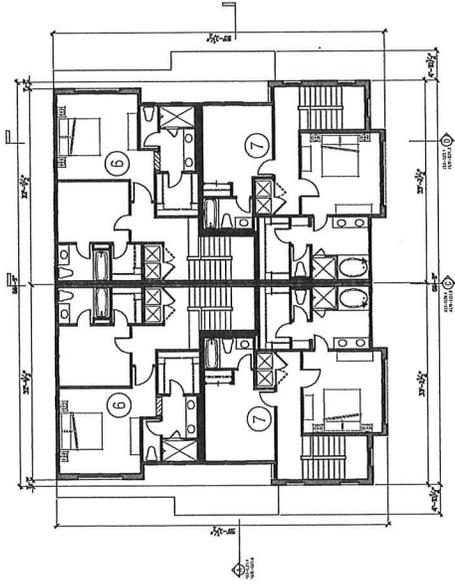
March 15, 2018
A1.9
W
WILLIAM HEZVALHALACI
 ARCHITECT
 1000 UNIVERSITY AVENUE, SUITE 200
 SAN FRANCISCO, CALIFORNIA 94103
 415.774.2007 www.wheh.com



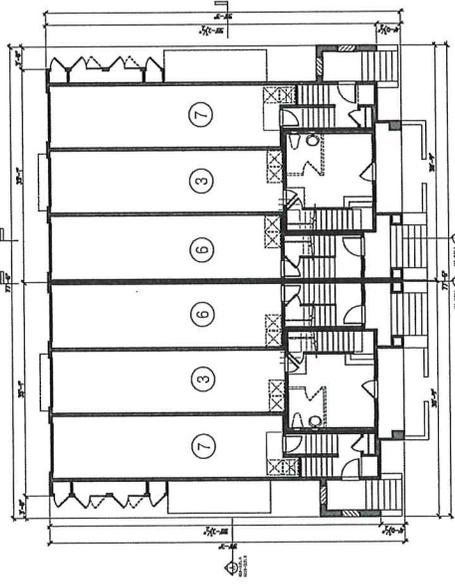
Third Floor



Second Floor



Fourth Floor



First Floor

PLAN 3	Refer to A7.3	PLAN 6	Refer to A7.6
PLAN 7	Refer to A7.7		

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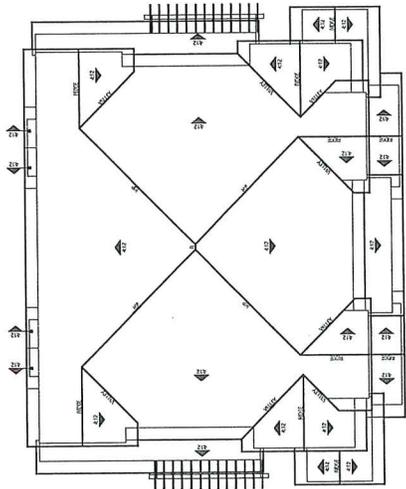
6-Plex Building Plans



MICHAEL J. MAZZONI
 LICENSED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 18114

March 15, 2018
A2.1

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 2000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78207
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Elevation A
Roof Plan

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6-Plex Roof Plans



March 15, 2018

A2.2



"A" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 1

1. CONCRETE S-TILE ROOF
2. 2" POLYSTYRENE INSULATION
3. STUCCO OVER FOAM TRIM
4. INSULATED VINYL WINDOWS
5. WOOD RAILING (SANDED FOUR SIDES)
6. WOOD TRELLIS (ROUGH SAWN)
7. HIBERT LIGHTING (LUNA COLLECTION)
8. ALUMINUM SECTIONAL GARAGE DOOR
9. STUCCO RECESS GABLE DETAIL

R13 Front Elevation

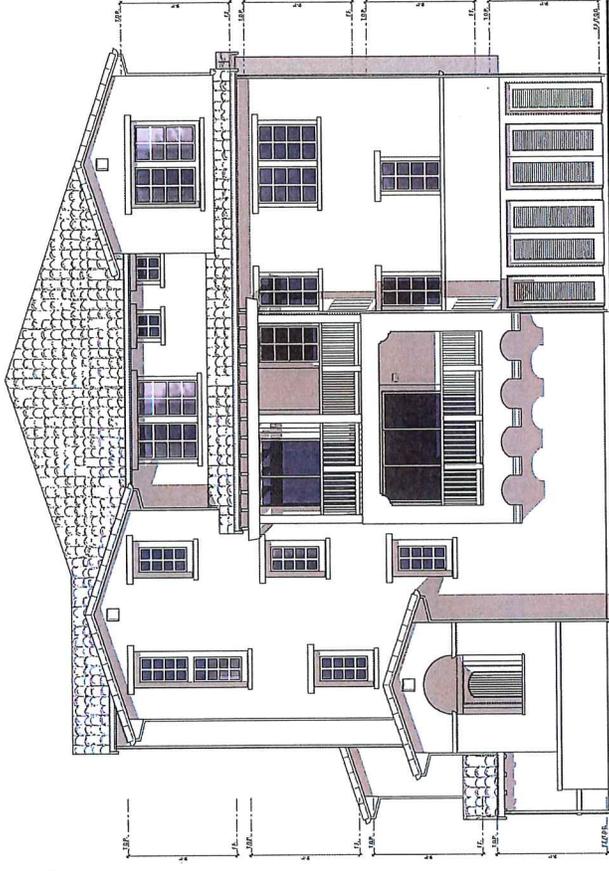
REVISIONS FOR CONDITION OF APPROVAL:

R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)

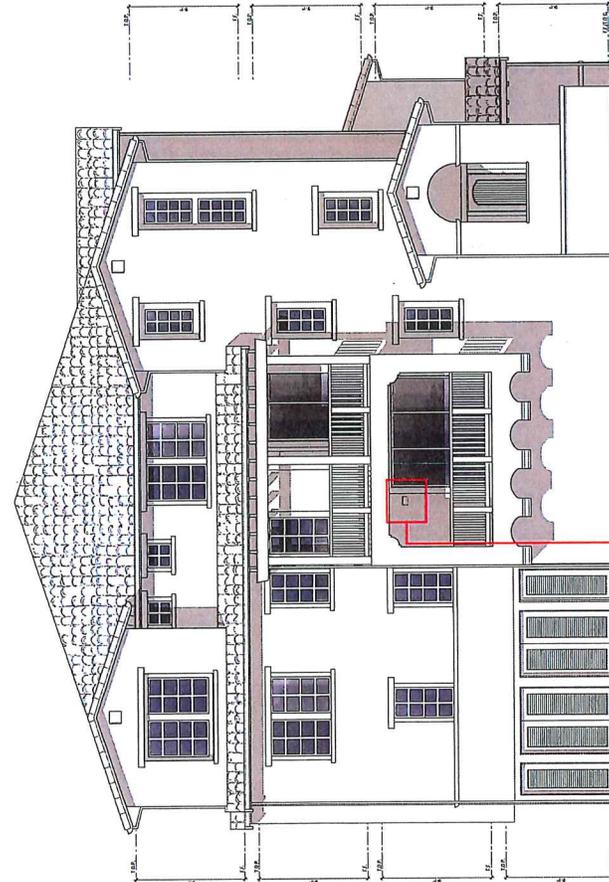
R12. GUTTERS SHOWN 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)

R13. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE





Right Elevation



R5 Left Elevation

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS
 (HINKLEY LIGHTING, LUNA COLLECTION)

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6-Plex Elevation 'A'



March 15, 2018

A2.4



"A" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 1
 9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
 10. METAL SECTIONAL GARAGE DOOR

Rear Elevation

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)

March 15, 2018
A2.5

WILLIAM HEATH
 ARCHITECT INC
 2000 UNIVERSITY AVENUE SUITE 200 SAN ANTONIO, TEXAS 78207
 TEL: 214.222.1111 WWW.WHEATHARCHITECTS.COM

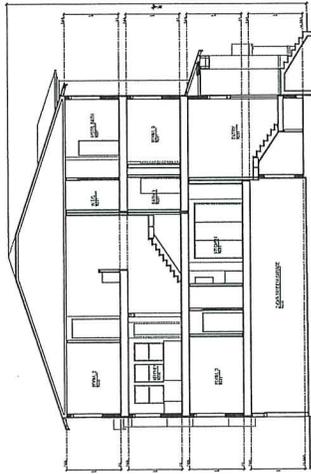
CRITTON, BURRIS & COMPANY
 ARCHITECTS
 2000 UNIVERSITY AVENUE SUITE 200 SAN ANTONIO, TEXAS 78207
 TEL: 214.222.1111 WWW.CRITTONBURRIS.COM



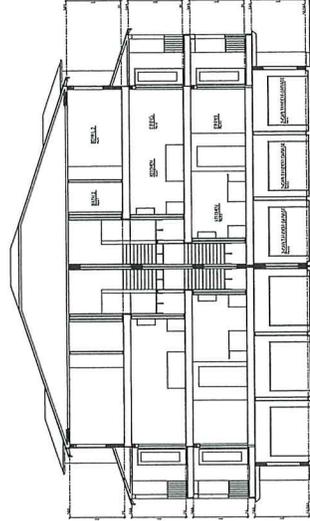
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 Architecture, Inc.
 6-Plex Elevation 'A'

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Section D



Section A

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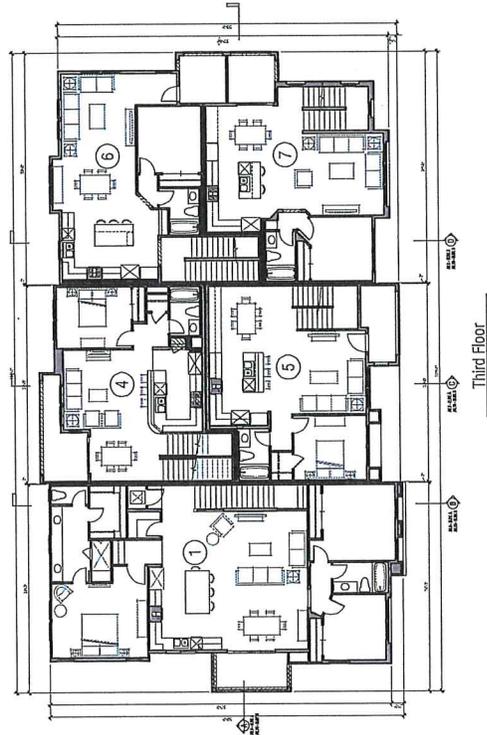
6-Plex Sections



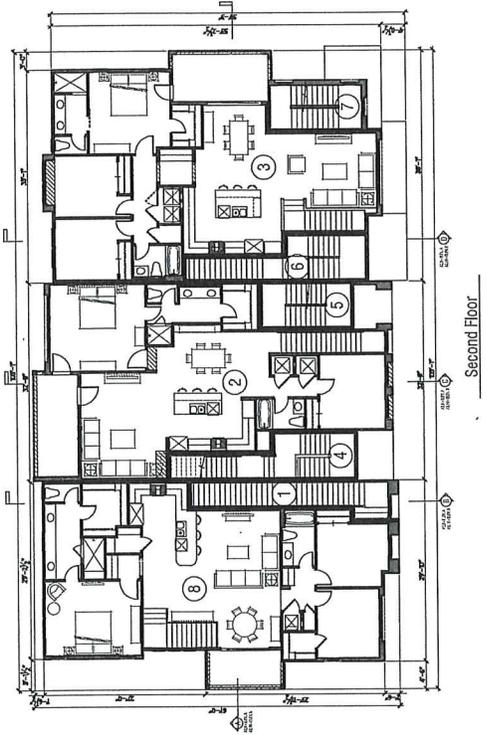
WILLIAM HENNING ARCHITECTS
 ARCHITECTS
 1000 UNIVERSITY AVENUE, SUITE 310, SAN FRANCISCO, CA 94133
 415.774.1100 www.williamhenning.com

March 15, 2018

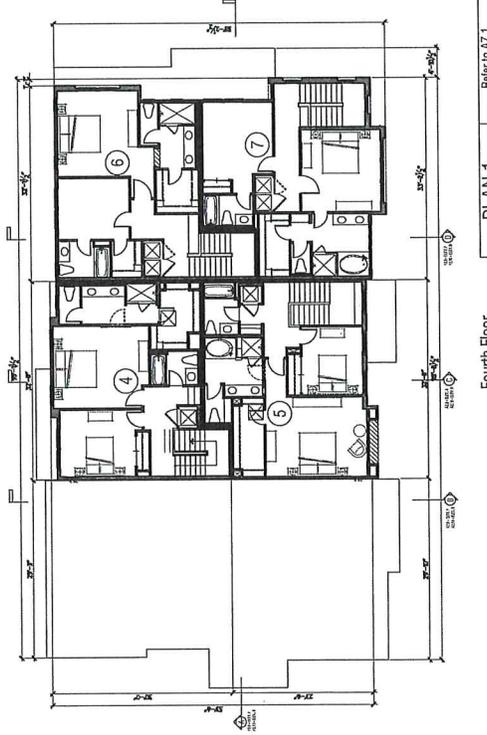
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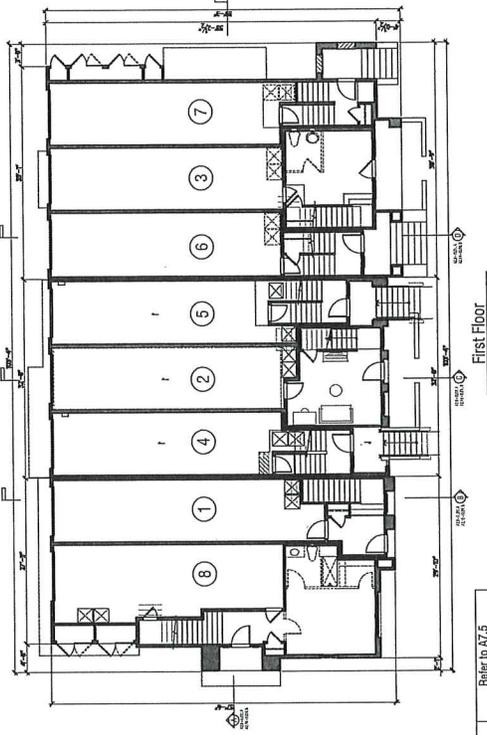
Third Floor



Second Floor



Fourth Floor



First Floor

PLAN 1	Refer to A7.1	PLAN 5	Refer to A7.5
PLAN 2	Refer to A7.2	PLAN 6	Refer to A7.6
PLAN 3	Refer to A7.3	PLAN 7	Refer to A7.7
PLAN 4	Refer to A7.4	PLAN 8	Refer to A7.8

Miraflores

8-Plex Building Plans

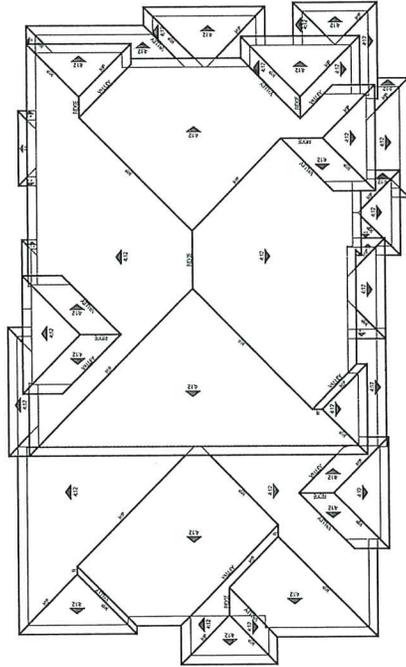
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March 15, 2018

A3.1

WILLIAM HEDRICK ASSOCIATES
 ARCHITECTS
 2000 S. GARDEN AVENUE, SUITE 100, GARDEN GROVE, CA 92640
 PH: 714.261.1000 WWW.WHEDRICK.COM



Elevation C
Roof Plan

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8-Plex Roof Plans



March 15, 2018
A3.2

March 15, 2018

A3.2

W
WILLIAM HENRY WALCH
ARCHITECTS
2000 CALIFORNIA STREET, SAN FRANCISCO, CA 94109
415.774.1100
WWW.WHWA.COM



"C" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3

1. CONCRETE S-TILE ROOF
2. WOOD FASCIA W/ HALF ROUND GALVANIZED STEEL GUTTERS, TYP.
3. STUCCO OVER GYPSUM BOARD
4. STUCCO OVER POLYMER TRIM
5. INSULATED VINYL WINDOWS
6. METAL RAILING W/ POWDER COAT & DECORATIVE KNUCKLES
7. WOOD TRELLIS (ROUGH SAWN)
8. FIBERGLASS FRONT DOOR COLLECTION, REFER TO SHEET A7.10
9. ALUMINUM SECTIONAL GARAGE DOOR
10. ALUMINUM SECTIONAL GARAGE DOOR

R13

Front Elevation

- REVISIONS FOR CONDITION OF APPROVAL:**
- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
 - R12. GUTTERS SHOWN 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
 - R13. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE



8-Plex Elevation 'C'

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R5

Left Elevation



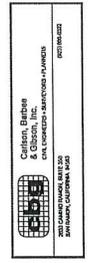
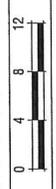
Right Elevation

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)

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8-Plex Elevation 'C'



March 15, 2018

A3.4

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 200 WEST 10TH AVENUE, SUITE 200, DENVER, CO 80202
 303.733.1111 www.waltonheathman.com



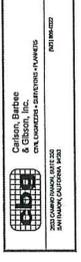
"C" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3
 9. HINKLEY LIGHTING (LUNA COLLECTION) REFER TO SHEET A7.10
 10. ALUMINUM SECTIONAL GARAGE DOOR

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)

Rear Elevation

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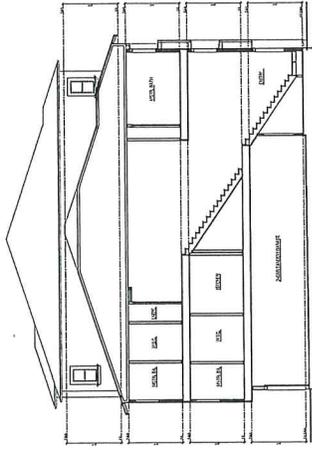
8-Plex Elevation 'C'



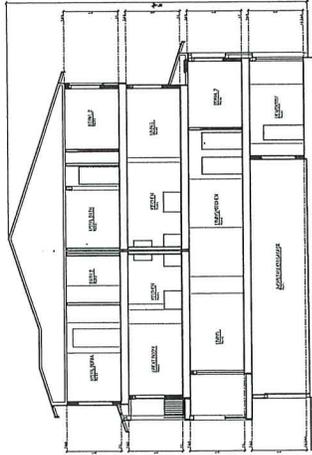
March 15, 2018

A3.5

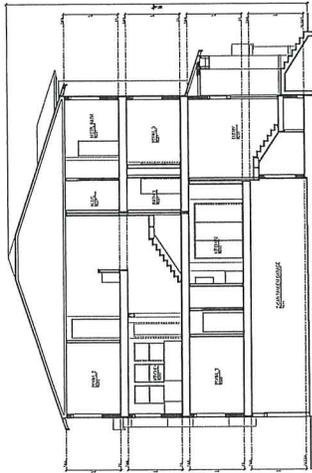
WILLIAMS ARCHITECTS, INC.
 2000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78207
 TEL: 214.343.1100 WWW.WILLIAMSARCHITECTS.COM



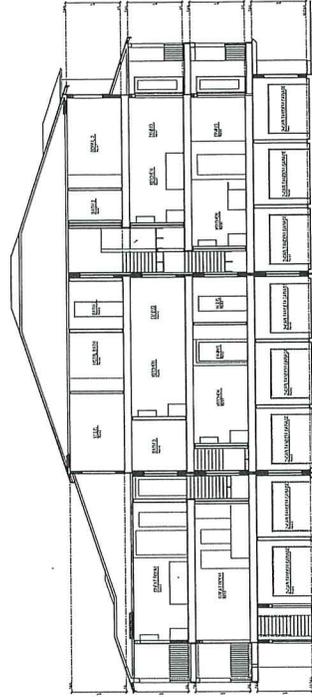
Section B



Section C



Section D



Section A

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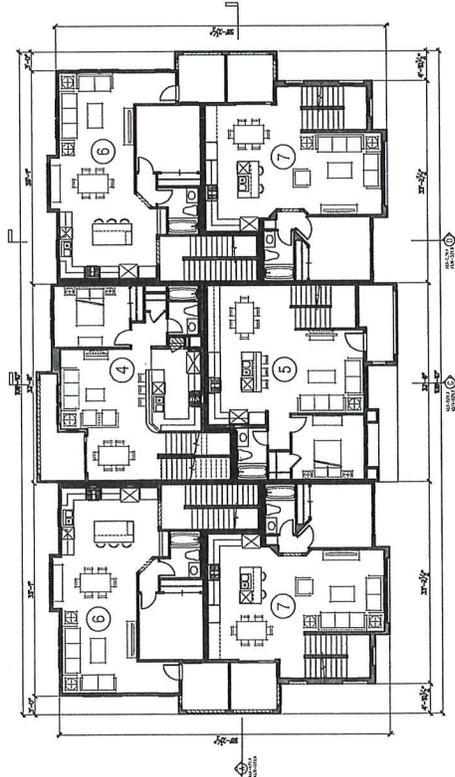
8-Plex Sections



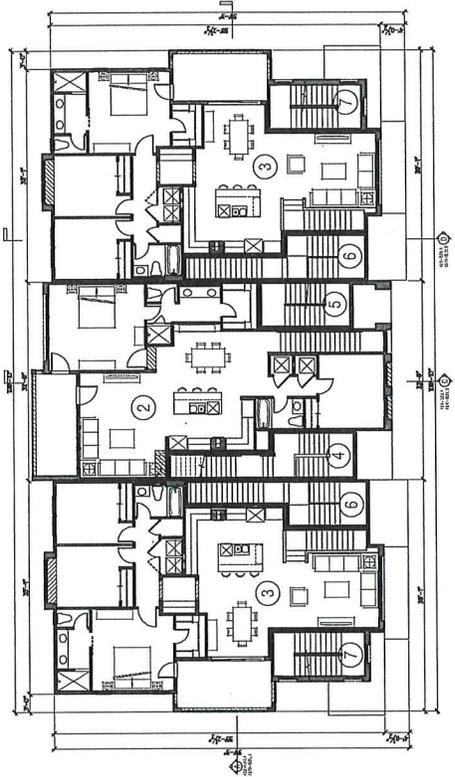
March 15, 2018

A3.6

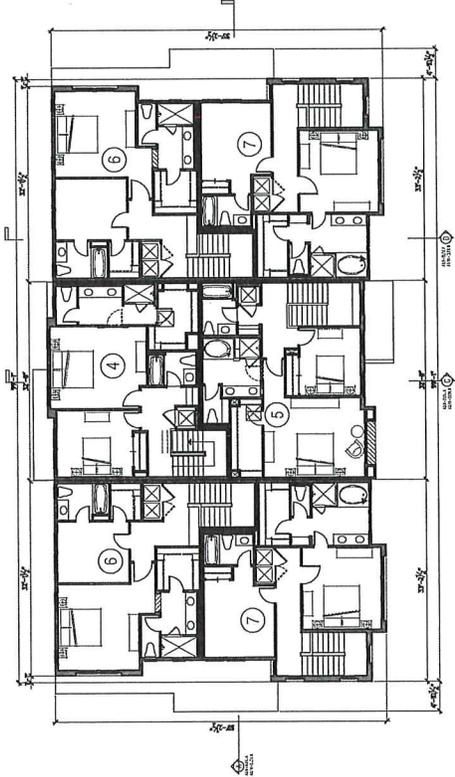
WILLIAM HECHT ARCHITECTS
 WILLIAM HECHT ARCHITECTS
 2000 CALIFORNIA AVENUE, SUITE 200, SAN ANTONIO, CA 78204
 TEL: 214.343.1000 FAX: 214.343.1001 WWW.WHARCHITECTS.COM



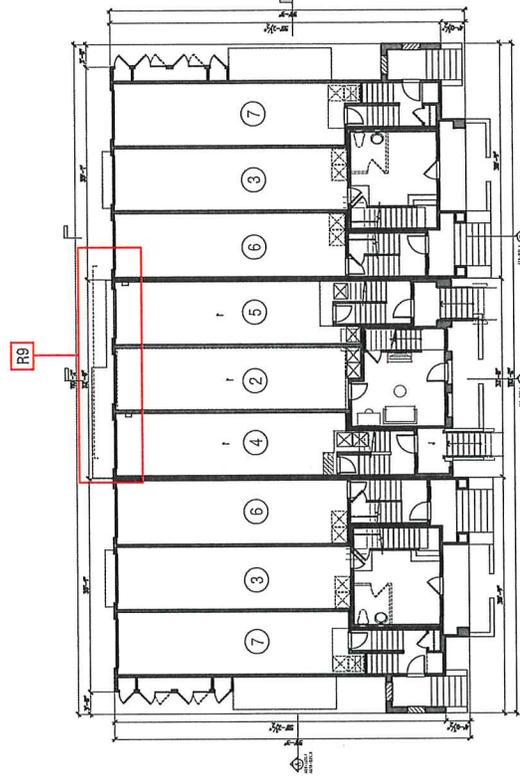
Third Floor



Second Floor



Fourth Floor



First Floor

PLAN 2	Refer to A7.2	PLAN 5	Refer to A7.5
PLAN 3	Refer to A7.3	PLAN 6	Refer to A7.6
PLAN 4	Refer to A7.4	PLAN 7	Refer to A7.7

REVISIONS FOR CONDITION OF APPROVAL.
R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

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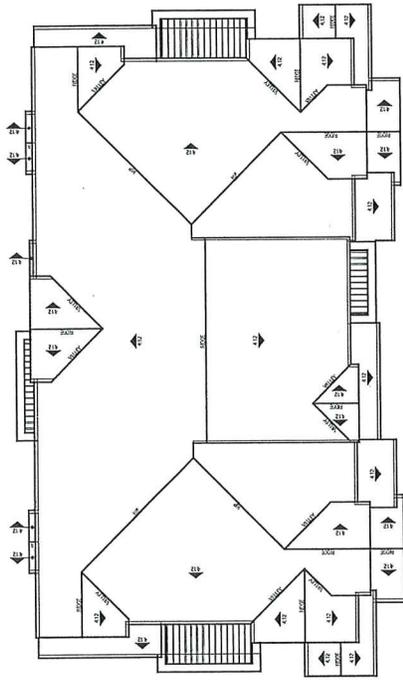
9-Plex Building Plans



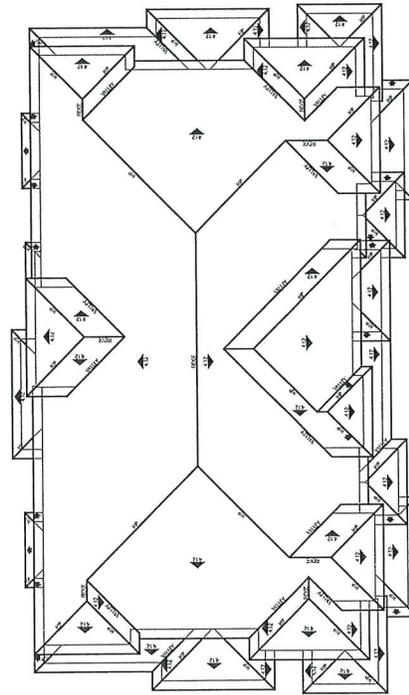

 William Devco, Inc.
 2000 S. MAIN STREET, SUITE 200, RICHMOND, CA 94801
 415.781.1000 www.williamdevco.com

March 15, 2018

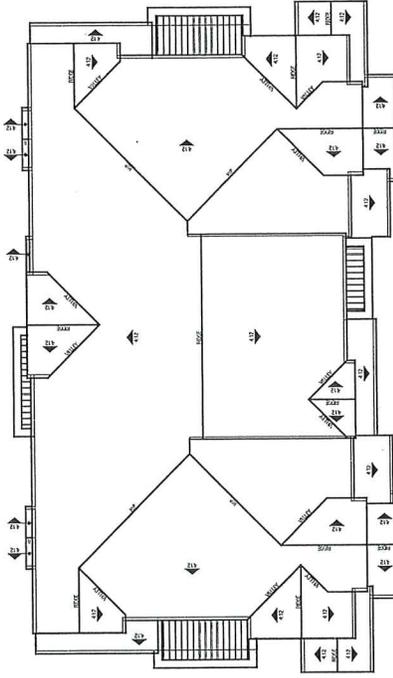
A4.1



Elevation A
Roof Plan



Elevation C
Roof Plan



Elevation B
Roof Plan

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9-Plex Roof Plans



VALLIER DESIGN ASSOCIATES, INC.



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 BERKELEY, CALIFORNIA 94702
 415.841.1111 FAX 415.841.1112
 WWW.WHA-ARCHITECTS.COM

March 15, 2018

A4.2



11'0" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 1

- 1. CONCRETE S-TILE ROOF
- 2. WOOD FASCIA W/ HALF ROUND GALVANIZED STEEL GUTTERS, TYP.
- 3. STUCCO OVER GYP BOARD
- 4. STUCCO OVER GYP BOARD
- 5. INSULATED VINYL WINDOWS
- 6. WOOD RAILING (SANDED FOUR SIDES)
- 7. WOOD TRELLIS (ROUGH SAWN)
- 8. FIBERGLASS FRONT DOOR
- 9. MINIMUM HEIGHT 10' GABLE DOOR
- 10. STUCCO ACCESS GABLE DETAIL
- 11. STUCCO ACCESS GABLE DETAIL

REVISIONS FOR CONDITION OF APPROVAL:

RS. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)

RT2. GUTTERS SHOWN 6 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)

RT3. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE

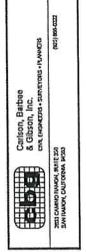
Front Elevation

RT3

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9-Plex Elevation 'A'



March 15, 2018

A4.3





Left Elevation



Right Elevation

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
 R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

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9-Plex Elevation 'A'



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March 15, 2018

A4.4

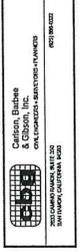


"A" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 1
 9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
 10. ALUMINUM SECTIONAL GARAGE DOOR

REVISIONS FOR CONDITION OF APPROVAL:

- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
- R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

Rear Elevation



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 200 CALIFORNIA AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78204
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"B" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 2

1. CONCRETE SLATE ROOF
2. WOOD TRIM W/ PAINT
3. GUTTER (STUCCO) (SAND FINISH)
4. STUCCO OVER FOAM TRIM
5. INSULATED VINYL WINDOWS
6. METAL RAILING W/ POWDER COAT
7. WOOD TRAILING (ROUGH SAWN)
8. HICKLEY LIGHTING (LUNA COLLECTION)
9. HICKLEY LIGHTING (LUNA COLLECTION)
10. ALUMINUM SECTIONAL GARAGE DOOR
11. CERAMIC TILE DETAIL - REFER TO SHEET A7.9

R13

Front Elevation

REVISIONS FOR CONDITION OF APPROVAL:
 RS: EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
 R12: GUTTERS SHOWN 6 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
 R13: ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE



March 15, 2018

A4.6

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"B" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 2

9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10

10. ALUMINUM SECTIONAL GARAGE DOOR

REVISIONS FOR CONDITION OF APPROVAL:

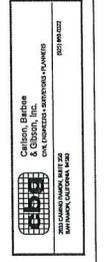
R5. EXTERIOR LIGHTING FIXTURES: COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)

R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

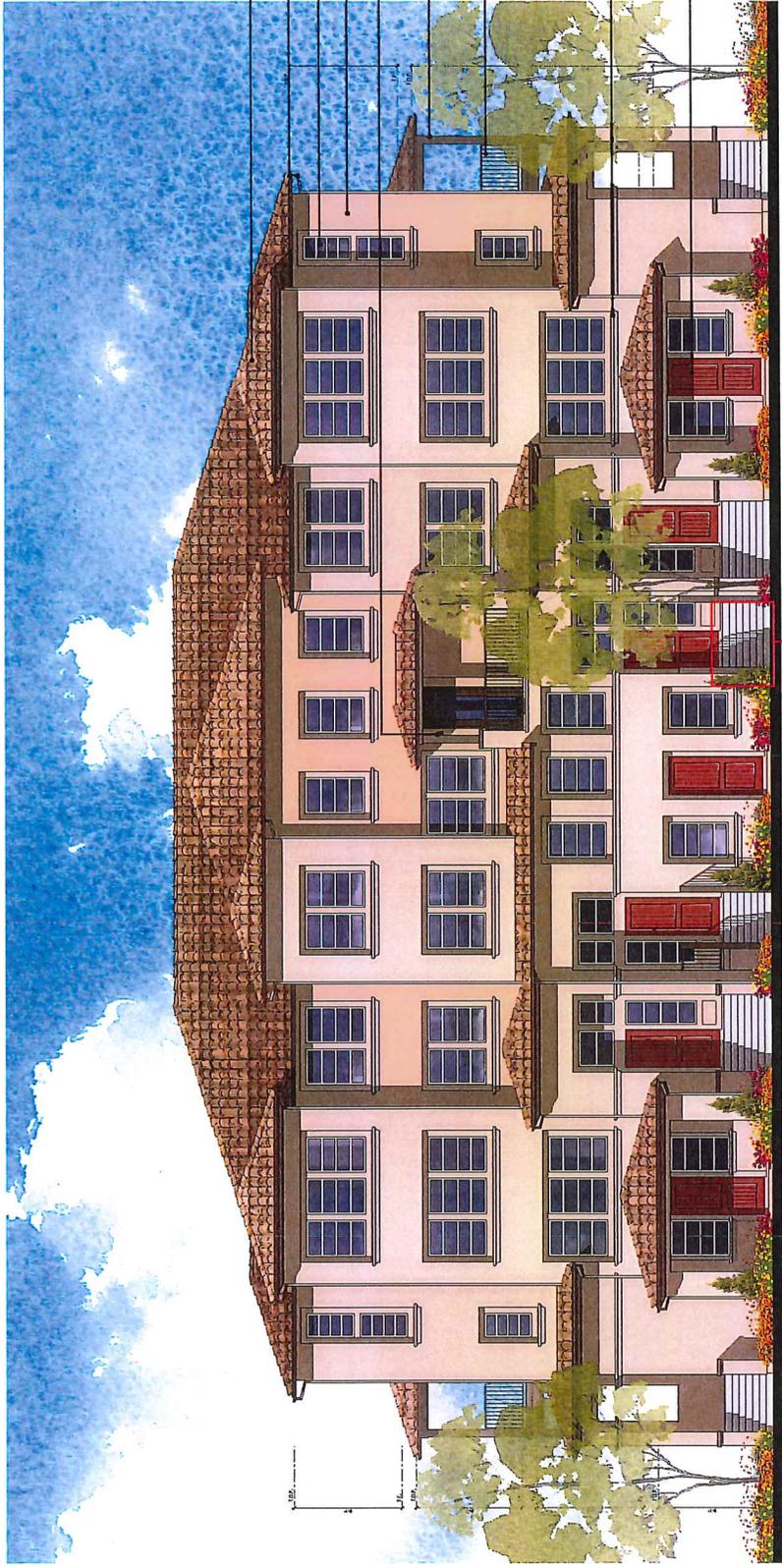
Rear Elevation

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9-Plex Elevation 'B'
0 4 8 12



March 15, 2018
A4.8



Front Elevation

- "C" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3**
1. CONCRETE 5-TILE ROOF
 2. 3" COAT STUCCO W/ SAND FINISH
 3. STUCCO OVER FOAM TRIM
 4. INSULATED VINYL WINDOWS
 5. METAL RAILING W/ POWDER COAT & DECORATIVE KNUCKLES
 6. WOOD TRELLIS (ROUGH SAWN)
 7. HIKED UP LIGHTING (LUNA COLLECTION)
 8. ALUMINUM SECTIONAL GARAGE DOOR

- REVISIONS FOR CONDITION OF APPROVAL:**
- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HIKED UP LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
 - R12. GUTTERS SHOWN 6 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
 - R13. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE

March 15, 2018
A4.9

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 ARCHITECTS, INC.
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 BERKELEY, CALIFORNIA 94702
 PH: 415.841.1100 FAX: 415.841.1101

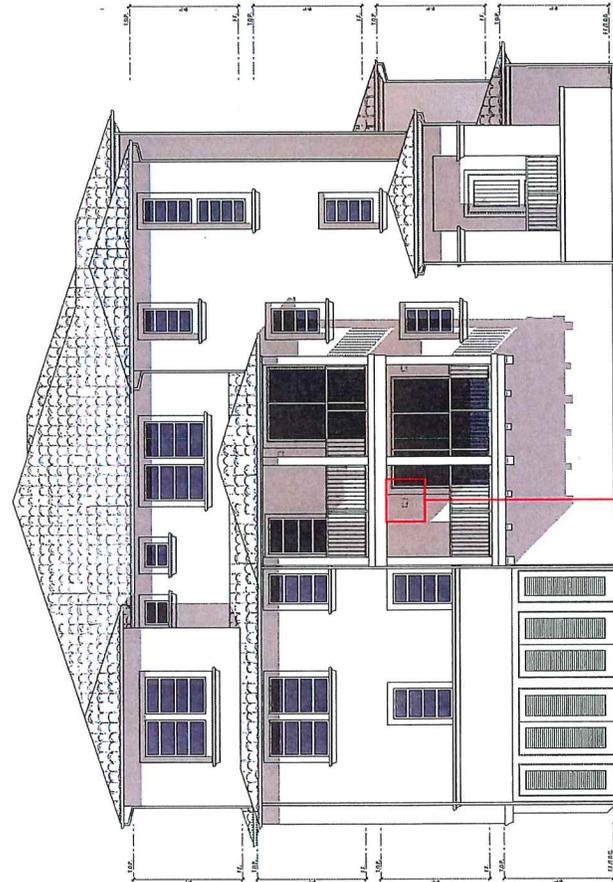
CS&E
 Collette, Seibert & Gibson, Inc.
 CONSULTING ARCHITECTS & ENGINEERS
 1000 UNIVERSITY AVENUE, SUITE 100
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 PH: 415.841.1100 FAX: 415.841.1101

VALLIER DESIGN ASSOCIATES, INC.
 1000 UNIVERSITY AVENUE, SUITE 100
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MIRAFLORES
 Community Development

9-Plex Elevation 'C'
 0 4 8 12

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Left Elevation



Right Elevation

- REVISIONS FOR CONDITION OF APPROVAL:**
- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
 - R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

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9-Plex Elevation 'C'



**WILLIAM H. MALMARCH
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March 15, 2018

A4.10



'C' - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3
 HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
 9. ALUMINUM SECTIONAL GARAGE DOOR

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
 R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

Rear Elevation

March 15, 2018

A4.11

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Charles, Baber & Gibson, Inc.
 CIVIL ENGINEERS - CONSTRUCTION DIVISION
 1000 UNIVERSITY AVENUE, SUITE 1000
 BERKELEY, CA 94702
 TEL: 415.841.1111 FAX: 415.841.1112

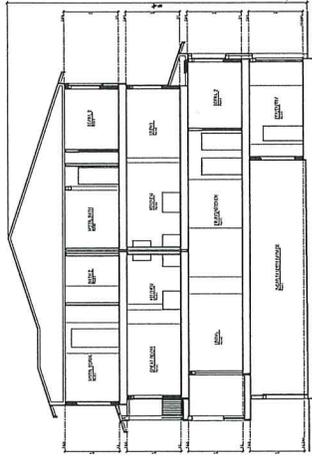


MIRAFLORES
 Community Devco

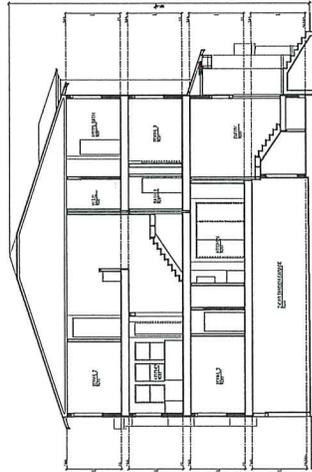
9-Plex Elevation 'C'

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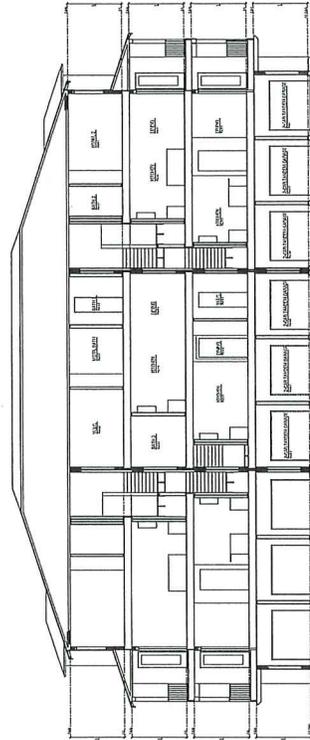




Section C



Section D



Section A

March 15, 2018

A4.12

WILLIAM WALSH ARCHITECTS, INC.
 200 CALIFORNIA STREET, SUITE 1000, SAN FRANCISCO, CA 94102
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Charles Beckett & Company, Inc.
 CIVIL ENGINEERS-STRUCTURAL ENGINEERS
 200 CALIFORNIA STREET, SUITE 1000, SAN FRANCISCO, CA 94102
 TEL: 415.774.2500 FAX: 415.774.2501 WWW.CBECKETT.COM

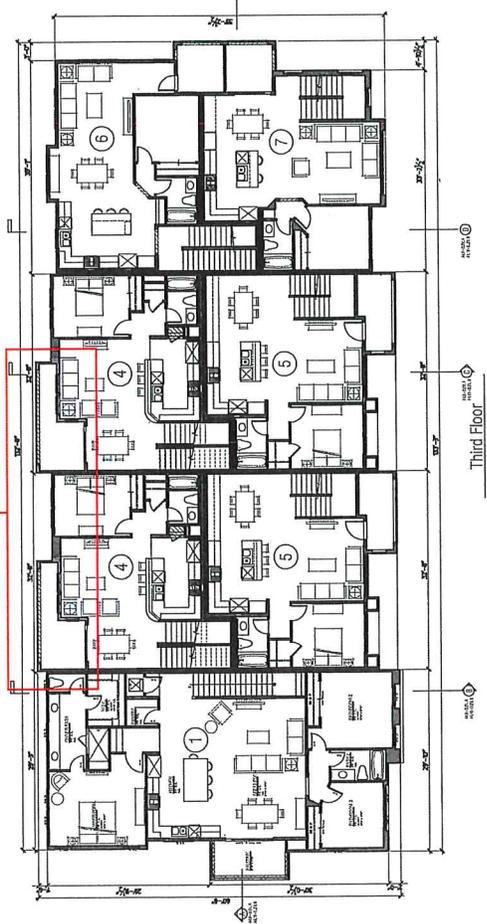


9-Plex Sections

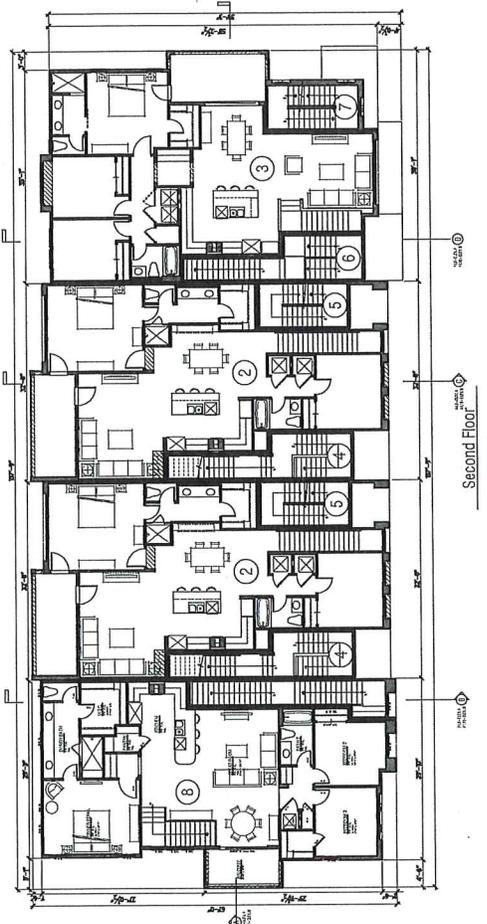


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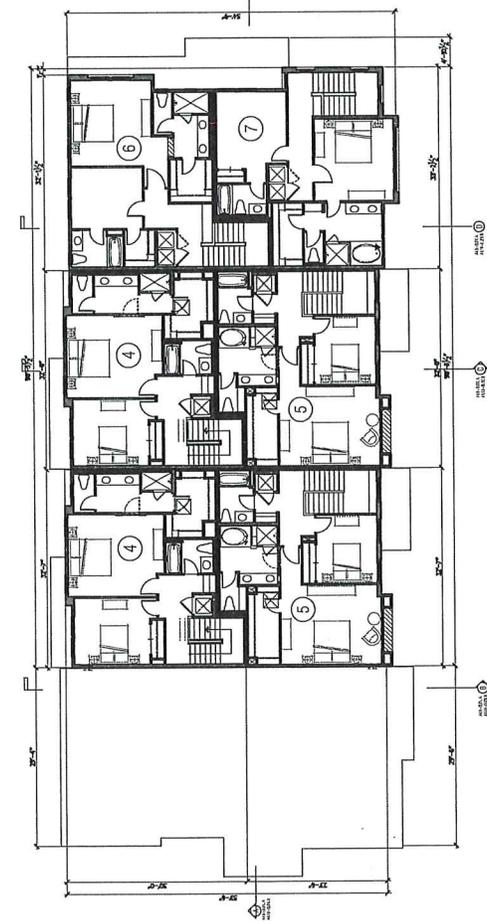
R6



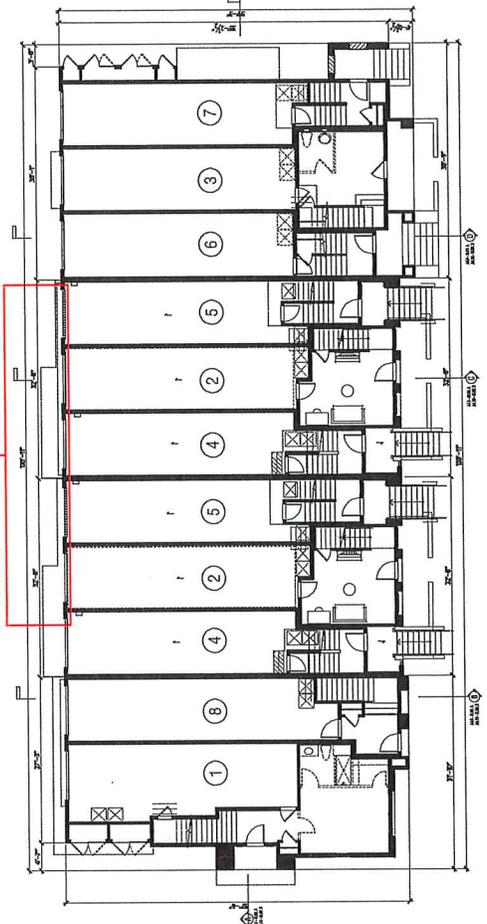
Third Floor



Second Floor



Fourth Floor



First Floor

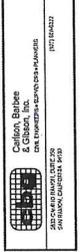
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PLAN 2	Refer to A7.2	PLAN 6	Refer to A7.6
PLAN 3	Refer to A7.3	PLAN 7	Refer to A7.7
PLAN 4	Refer to A7.4	PLAN 8	Refer to A7.8

REVISIONS FOR CONDITION OF APPROVAL:
R6. ALL BALCONIES ON 11-PLEX AND 12-PLEX BUILDINGS ON THIRD FLOOR LEVEL SHALL BE AT LEAST 60 SQ.F.T. WHERE 6' DEPTH OCCURS
R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

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11-Plex Building Plans

Richmond, CA ■ Miraflores Community Devco



March 15, 2018

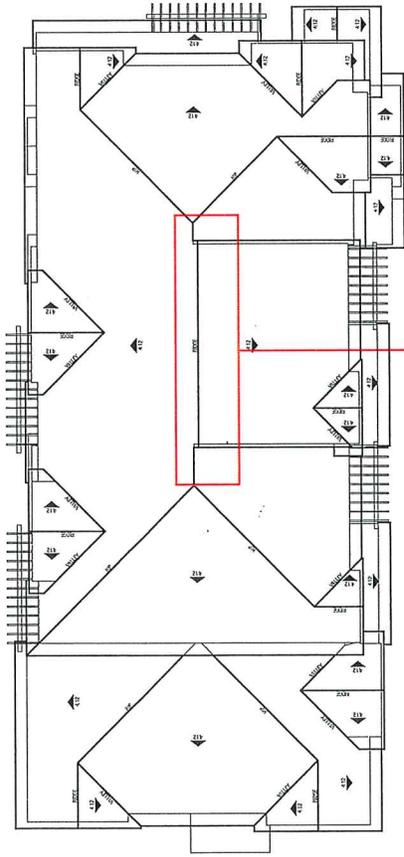
A5.1

WILLIAM H. BECKWITH ARCHITECTS, INC.
 2000 CALIFORNIA AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78202
 214-343-1100 www.williambeckwith.com

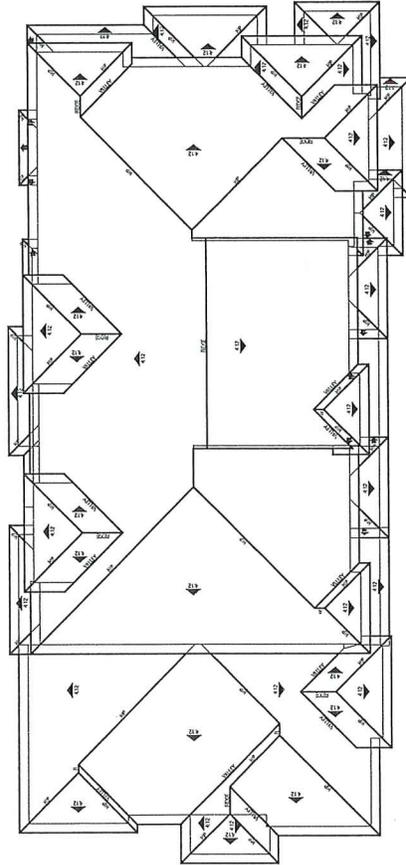
William H. Beckwith Architects, Inc.
 2000 California Avenue, Suite 200, San Antonio, Texas 78202
 214-343-1100 www.williambeckwith.com

Vallier Design Associates, Inc.
 11111 Parkside Drive, Suite 200, Dallas, Texas 75244
 972-443-1111 www.vallierdesign.com

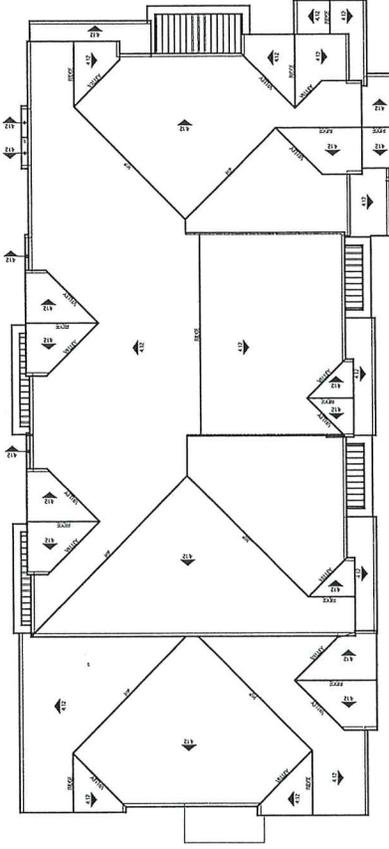




Elevation A
Roof Plan



Elevation C
Roof Plan



Elevation B
Roof Plan

REVISIONS FOR CONDITION OF APPROVAL:
R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS

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11-Plex Roof Plans



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SAN FRANCISCO, CALIFORNIA 94103
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WWW.WHARCHITECTS.COM

March 15, 2018

A5.2

R10



'A' - ELEVATIONS: BUILDING MATERIALS - COLOR SCHEME 1

1. CONCRETE STILE ROOF
2. WOOD FASCIA W/ HALF ROUND GALVANIZED STEEL GUTTERS, TYP.
3. 3-COAT STUCCO (SAND FINISH)
4. STUCCO OVER FOAM TRIM
5. INSULATED VINYL WINDOWS
6. WOOD FALLING (SAVED FOUR SIDES)
7. FIBERGLASS FRONT DOOR
8. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
9. ALUMINUM SECTIONAL GARAGE DOOR
11. STUCCO RECESS GABLE DETAIL

REVISIONS FOR CONDITION OF APPROVAL:

- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
- R6. EXTERIOR LIGHTING (LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
- R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS
- R12. GUTTERS SHOWING 1/2 ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
- R13. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE

R13

Front Elevation

Miraflores

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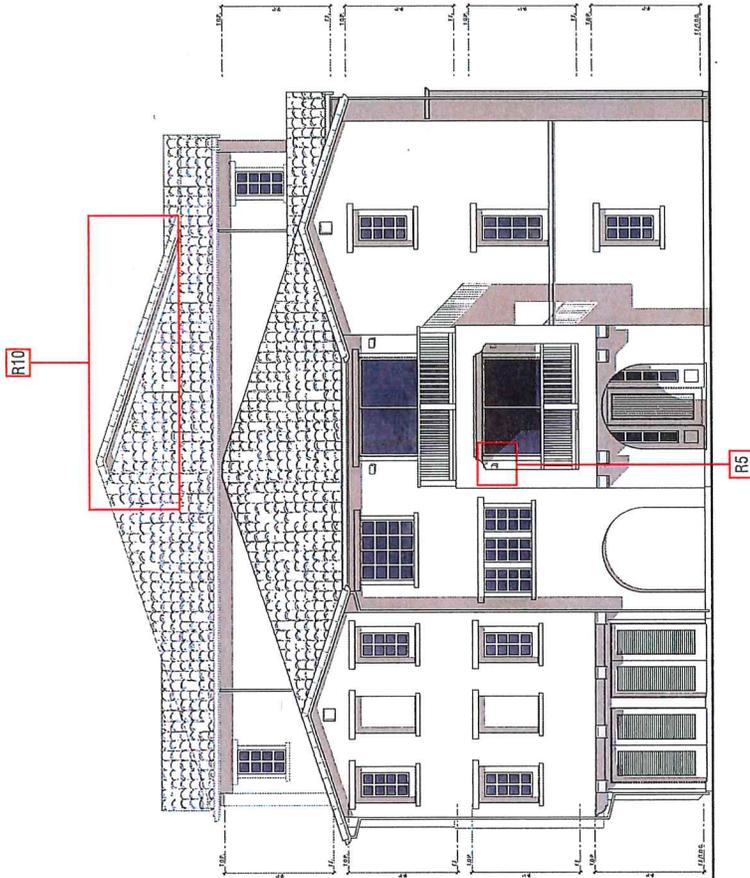
11-Plex Elevation 'A'



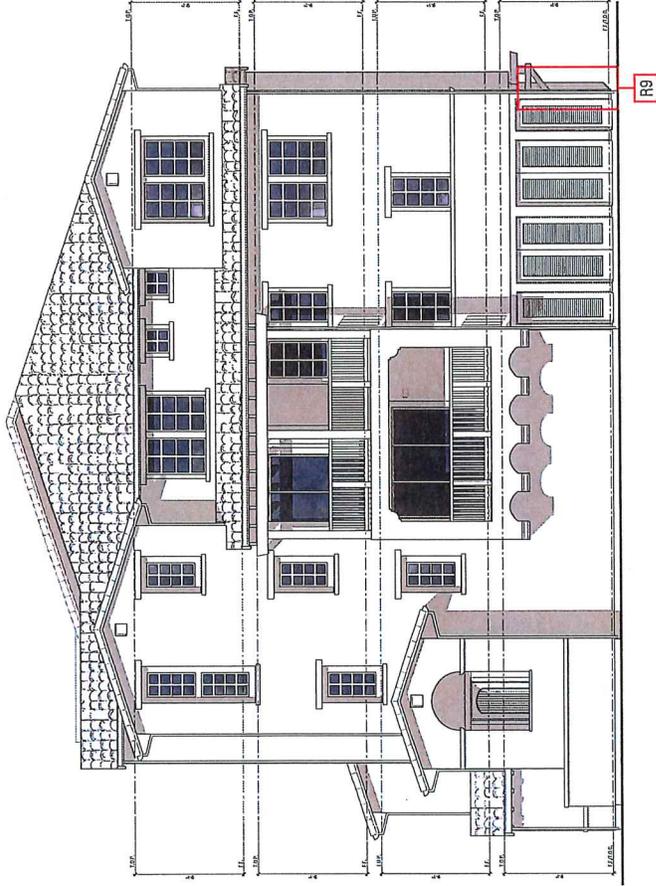
William H. Decker
 ARCHITECT
 1000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78204
 TEL: 214.343.1234 FAX: 214.343.1235

March 15, 2018

A5.3



Left Elevation



Right Elevation

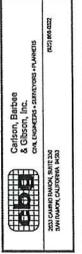
REVISIONS FOR CONDITION OF APPROVAL:

- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
- R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE
- R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS

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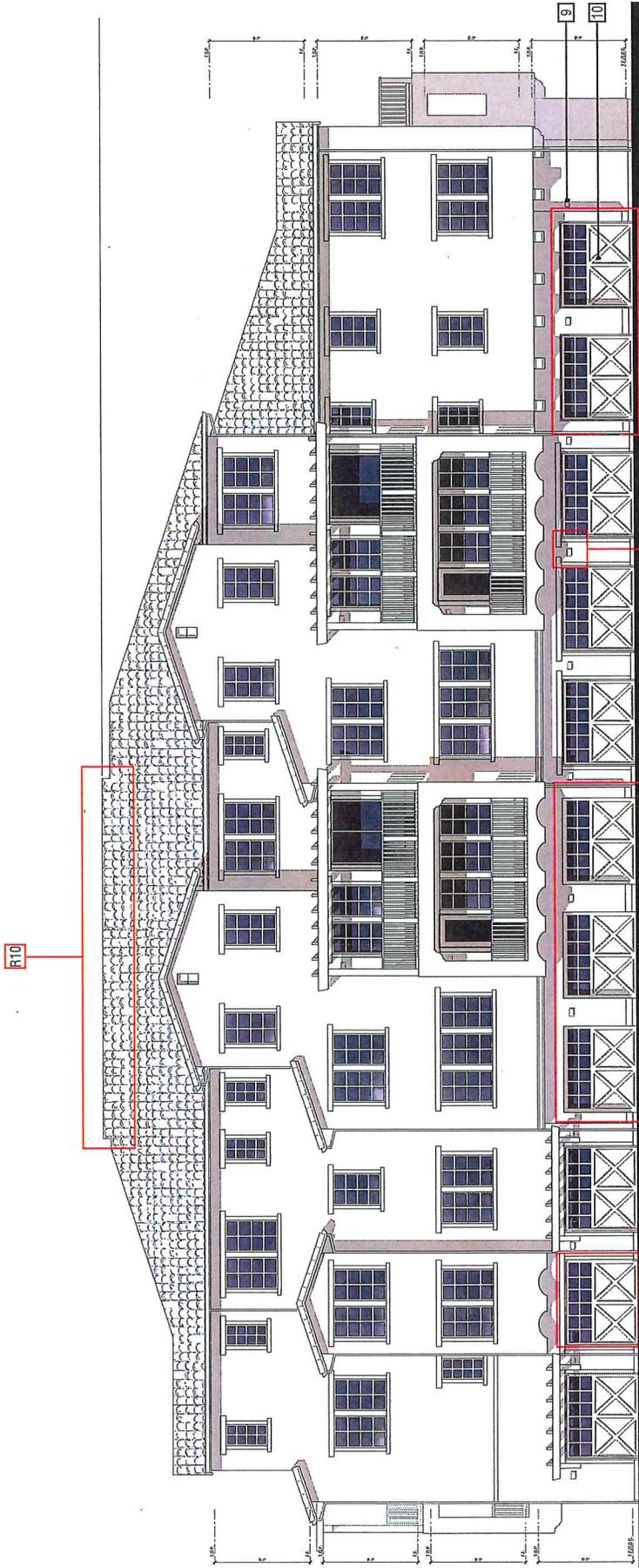
11-Plex Elevation 'A'



WILLIAM HERZHALCH ARCHITECTS, INC.
 2000 CALIFORNIA AVENUE SUITE 1000
 SAN FRANCISCO, CALIFORNIA 94109
 TEL: 415.774.1100 FAX: 415.774.1101
 WWW.WHARCHITECTS.COM

March 15, 2018

A5.4



**BUILDING 14 REAR ELEVATION SHOWN:
UPGRADED GARAGE DOORS SHOWN ON BUILDINGS
13 & 14 (FACING SOUTH 47TH STREET)**

Rear Elevation

'A' - ELEVATIONS - BUILDING MATERIALS - COLOR SCHEME 1
9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
10. ALUMINUM SECTIONAL GARAGE DOOR

- REVISIONS EDR CONDITION OF APPROVAL:**
- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
 - R8. UPGRADED GARAGE DOORS SHOWN FOR BUILDINGS 13 & 14 FACING SOUTH 47TH STREET
 - R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE
 - R10. ROOF RIDGE ADDED TO 11- PLEX AND 12- PLEX TO REDUCE MASS

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11-Plex Elevation 'A'

March 16, 2018
A5.5

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COMMUNITY DEVCO

VALLER DESIGN ASSOCIATES, INC.

WILLIAM H. EVANS & ASSOCIATES, INC.
ARCHITECTS

R10



Front Elevation

"B" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 2

1. CONCRETE 5/8" TILE ROOF
2. 3-COAT STUCCO (SAND FINISH)
3. STUCCO OVER FOAM TRIM
4. INSULATED VINYL WINDOWS
5. METAL RAILING W/ POWDER COAT
6. FLOOR TILES (ROUGH SAWN)
7. HINKLEY LIGHTING (LUNA COLLECTION)
8. ALUMINUM SECTIONAL GARAGE DOOR
9. CERAMIC TILE DETAIL, REFER TO SHEET A7.9

REVISIONS FOR CONDITION OF APPROVAL:

- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
- R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS
- R12. GUTTERS SHOWN 6 1/2" ROUND GSM MOUNTED ON 2x6 FASCHA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
- R13. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE

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11-Plex Elevation 'B'

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March 15, 2018

A5.6

WILLIAM H. MANLACH
ARCHITECTS, INC.
1000 UNIVERSITY AVENUE, SUITE 100, SAN ANTONIO, TEXAS 78205
3000 GENERAL LBJ BLVD, SUITE 100, SAN ANTONIO, TEXAS 78205
PH: 214.343.1000 WWW.WHMANLACH.COM



Left Elevation



Right Elevation

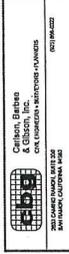
REVISIONS FOR CONDITION OF APPROVAL:

- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
- R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

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11-Plex Elevation 'B'



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March 15, 2018

A5.7

R10



Rear Elevation

"B" - ELEVATIONS: BUILDING MATERIALS - COLOR SCHEME 2

- 9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
- 10. ALUMINUM SECTIONAL GARAGE DOOR

REVISIONS FOR CONDITION OF APPROVAL:

- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
- R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE
- R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS

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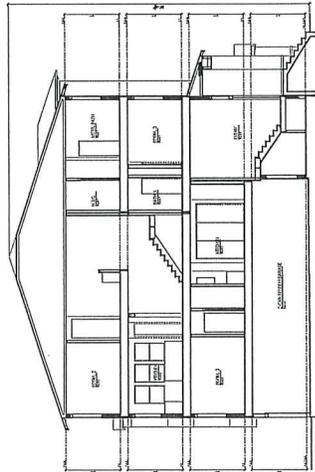
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11-Plex Elevation 'B'

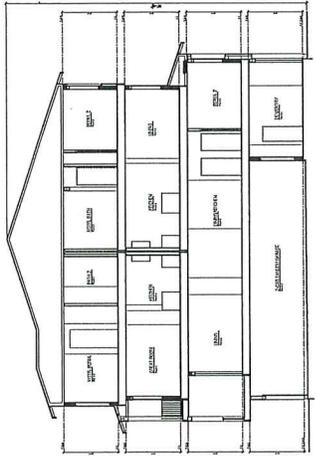


March 15, 2018

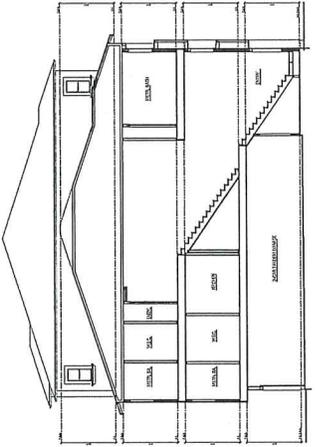
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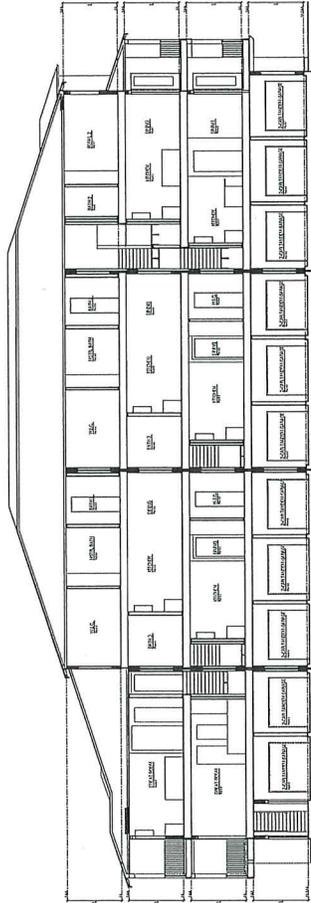
Section D



Section C



Section B



Section A

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11-Plex Sections

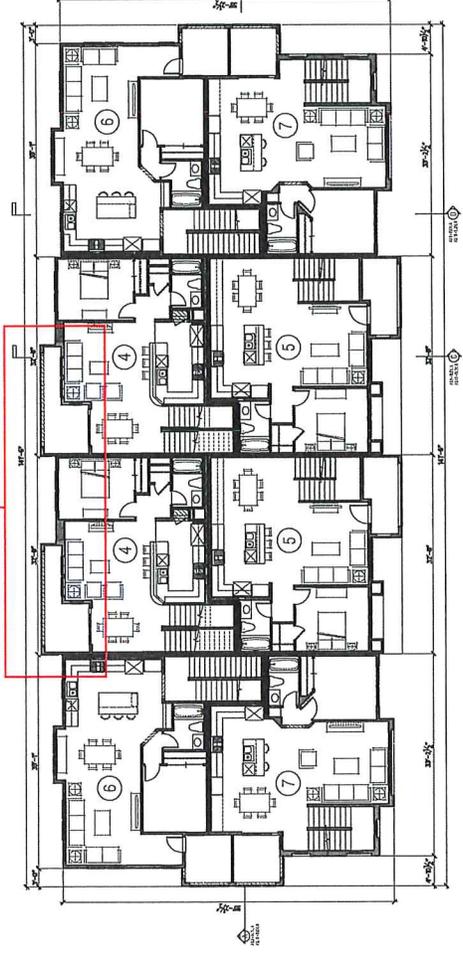


March 15, 2018

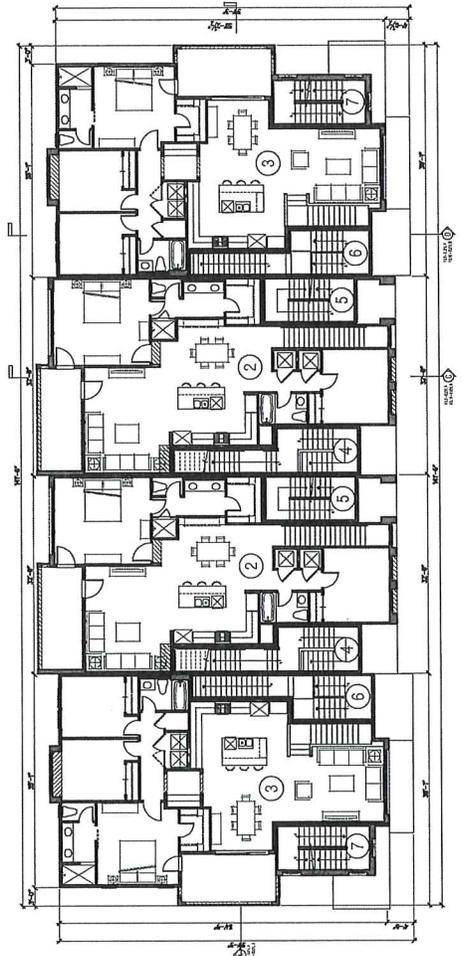
A5.9

WILLIAM HEDRICK HALCH ARCHITECTS INC.
 1000 CENTRAL AVENUE SUITE 200 SAN RAFAEL CA 94903-2000
 415.499.1100 FAX 415.499.1101
 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

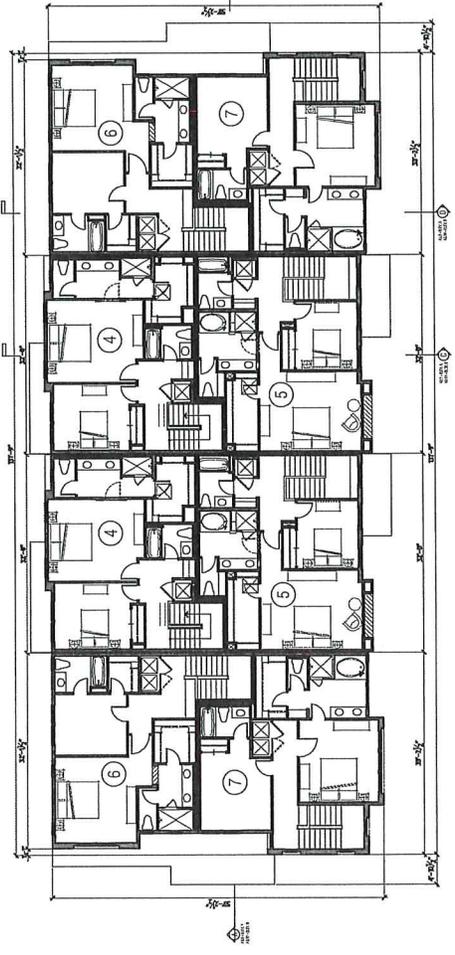
R6



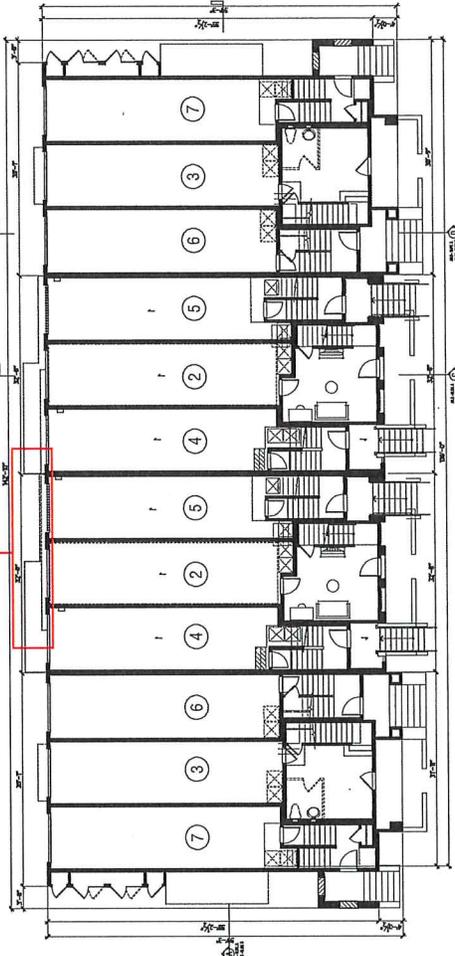
Third Floor



Second Floor



Fourth Floor



First Floor

PLAN 2	Refer to A7.2	PLAN 5	Refer to A7.5
PLAN 3	Refer to A7.3	PLAN 6	Refer to A7.6
PLAN 4	Refer to A7.4	PLAN 7	Refer to A7.7

REVISIONS FOR CONDITION OF APPROVAL:
 R6. ALL BALCONIES ON 11-PLEX AND 12-PLEX BUILDINGS ON THIRD FLOOR LEVEL SHALL BE AT LEAST 60 SQ.FT. WHERE 6' DEPTH OCCURS.
 R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE

Miraflores

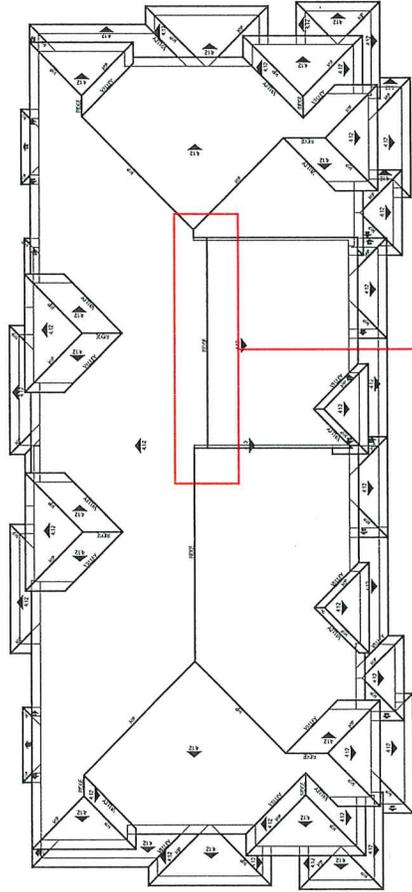
Richmond, CA ■ Miraflores Community Devco

12-Plex Building Plans



March 15, 2018

A6.1



Elevation C
Roof Plan

REVISIONS FOR CONDITION OF APPROVAL:
 R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS

March 15, 2018

A6.2

W
 WILLIAM HERRING
 ARCHITECTS
 INC.
 1000 UNIVERSITY AVENUE, SUITE 200
 BERKELEY, CA 94702
 TEL: 415.841.1111 FAX: 415.841.1112
 WWW.WHARCHITECTS.COM

CS
 Cullen, Babler
 & Gibson, Inc.
 CIVIL ENGINEERS-ARCHITECTS-PLANNERS
 1000 UNIVERSITY AVENUE, SUITE 200
 BERKELEY, CA 94702
 TEL: 415.841.1111 FAX: 415.841.1112
 WWW.CSARCHITECTS.COM



12-Plex Roof Plans



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Front Elevation

"C" - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3

1. CONCRETE TILE ROOF
2. WOOD FASCIA W/ HALF ROUND GALVANIZED STEEL GUTTERS, TYR
3. COAT STUCCO (SAND FINISH)
4. STUCCO OVER FOAM TRIM
5. INSULATED VINYL WINDOWS
6. METAL TRAILING ROUGH SAWN
7. WOOD TRAILING ROUGH SAWN
8. FIBERGLASS FRONT DOOR
9. HINKLEY LIGHTING (LUNA COLLECTION), REFER TO SHEET A7.10
10. ALUMINUM SECTIONAL GARAGE DOOR

R13

REVISIONS FOR CONDITION OF APPROVAL:

- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION) (SEE MATERIAL NOTE (9) FOR UPDATED SPECIFICATION)
- R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS
- R12. GUTTERS SHOWN 6 1/2" ROUND GSM MOUNTED ON 2x6 FASCIA (SEE MATERIAL NOTE (2) FOR UPDATED SPECIFICATION)
- R13. ALL CONCRETE STAIRS SHOWN IN COLOR TO MATCH HARDSCAPE

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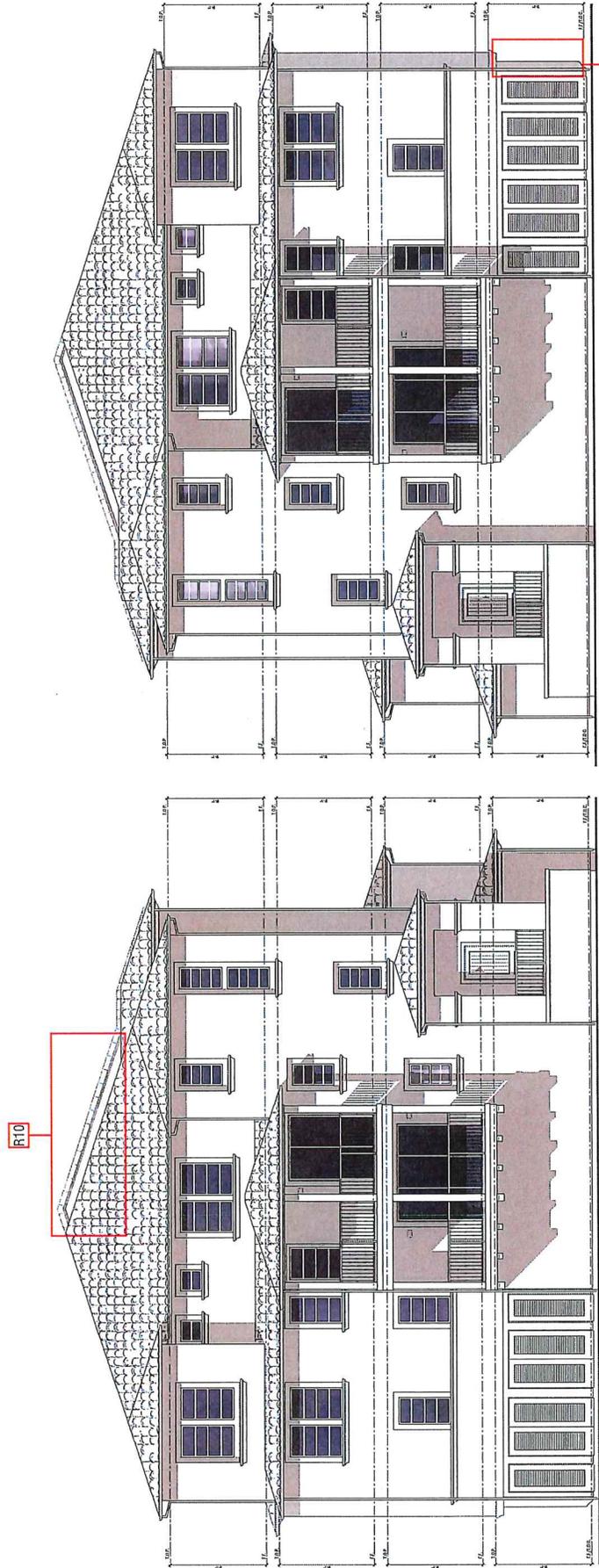
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12-Plex Elevation 'C'



March, 15, 2018

A6.3



Left Elevation

Right Elevation

- REVISIONS FOR CONDITION OF APPROVAL:**
- R9. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS (HINKLEY LIGHTING, LUNA COLLECTION)
 - R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE
 - R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS

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12-Plex Elevation 'C'



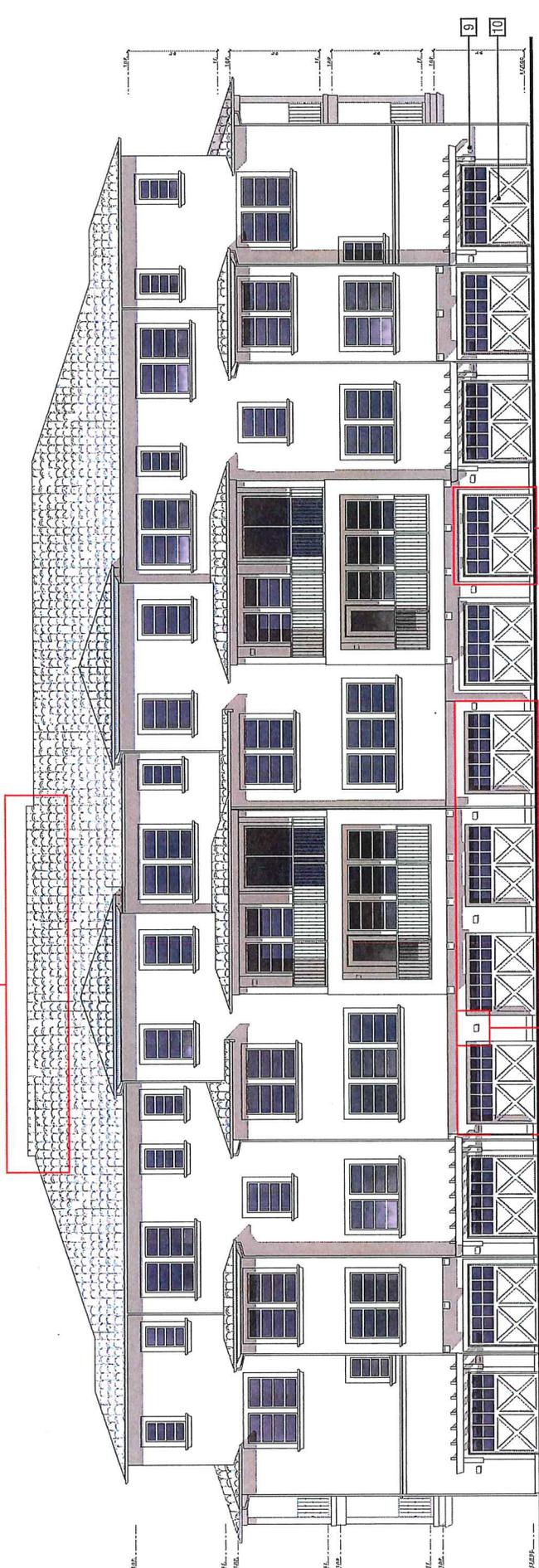

 Callison, Babbitt
 ARCHITECTS
 200 CALIFORNIA STREET, SUITE 200
 SAN FRANCISCO, CALIFORNIA 94102


 WILLIAM HEZVALHALCH
 ARCHITECTS
 200 CALIFORNIA STREET, SUITE 200
 SAN FRANCISCO, CALIFORNIA 94102
 415.775.2007 www.wheh.com

March 15, 2018

A6.4

R10



BUILDING 13 REAR ELEVATION SHOWN:
ENHANCED GARAGE DOORS SHOWN ON BUILDINGS
13 & 14 (FACING SOUTH 47TH STREET)

'C' - ELEVATIONS: BUILDING MATERIALS: COLOR SCHEME 3
9. HINKLEY LIGHTING (LUNA COLLECTION). REFER TO SHEET A7.10
10. ALUMINUM SECTIONAL GARAGE DOOR

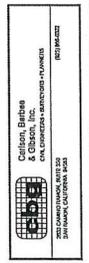
Rear Elevation

- REVISIONS FOR CONDITION OF APPROVAL:**
- R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING REQUIREMENTS. (HINKLEY LIGHTING, LUNA COLLECTION)
 - R8. UPGRADED GARAGE DOORS SHOWN FOR BUILDINGS 13 & 14 FACING SOUTH 47TH STREET.
 - R9. GARAGE ARTICULATION TO REDUCE MASS/ BULK OF GARAGE DOOR PLANE
 - R10. ROOF RIDGE ADDED TO 11-PLEX AND 12-PLEX TO REDUCE MASS

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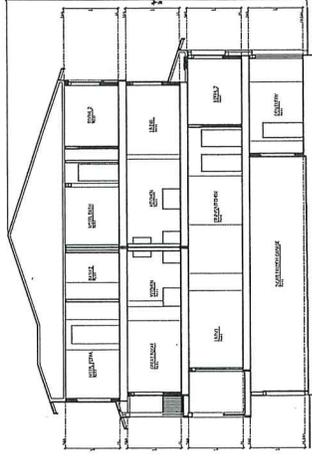
12-Plex Elevation 'C'



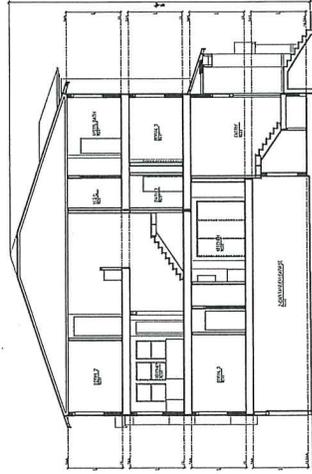
March 15, 2019

A6.5

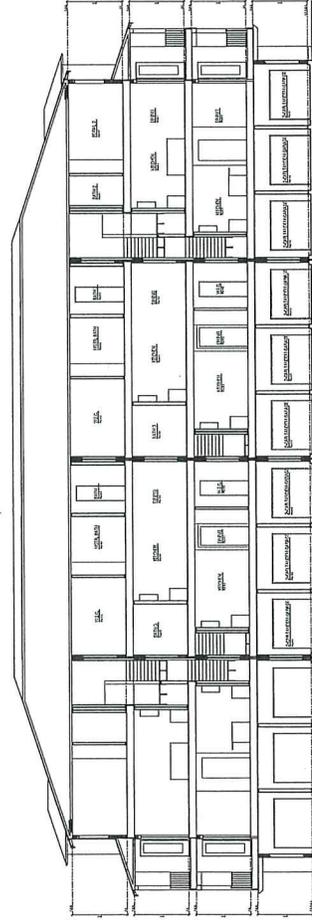
WILLIAM H. MANAUGH ARCHITECTS, INC.
1000 WEST 17TH AVENUE SUITE 100
DENVER, CO 80202
TEL: 303.733.1100 FAX: 303.733.1101
WWW.WHMANAUGH.COM



Section C



Section D



Section A

March 15, 2018

A6.6

WILLIAM W. WATSON ARCHITECTS, INC.
 1000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78204
 TEL: 214.343.1000 FAX: 214.343.1001 WWW.WWVA.COM

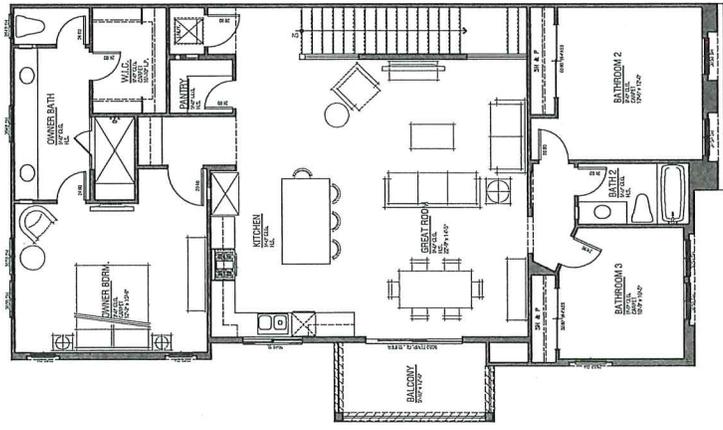
Clark, Banks & Cozart, Inc.
 CIVIL ENGINEERS-STRUCTURAL ENGINEERS
 3000 GARDEN HAVEN DRIVE, SUITE 100, SAN ANTONIO, TEXAS 78249
 TEL: 214.343.1000 FAX: 214.343.1001 WWW.CBANDCOZART.COM



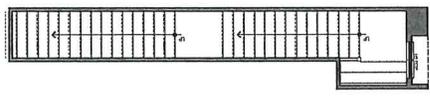
12-Plex Sections



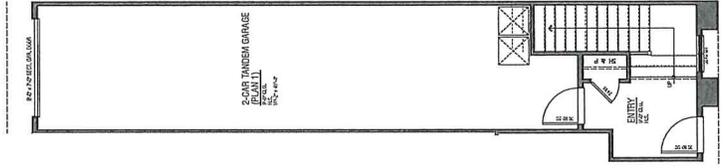
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Third Floor
1875 SF



Second Floor
78 SF



First Floor
102 SF

Plan 1
1801 SF Total
3 BR / 2 BA / 2 Car Garage
82 S.F. Open Space

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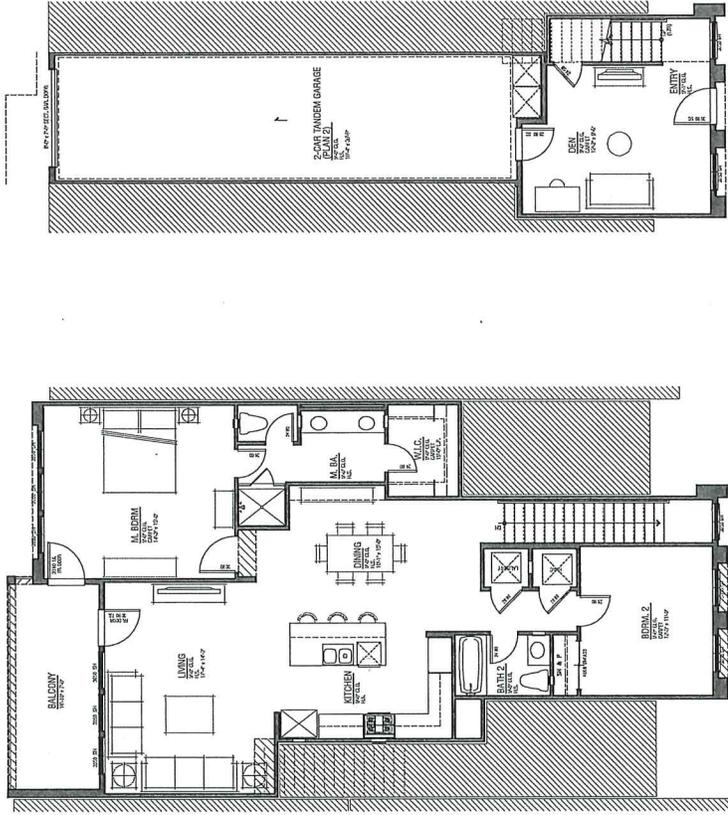
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Plan 1 Floor Plans



March 15, 2018
A7.1

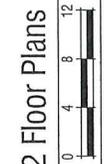
WILLIAM H. MALLANACH ARCHITECTS, INC.
1000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78204
714.443.1100 | www.williamhmallanach.com



First Floor
208 SF

Second Floor
1326 SF

Plan 2
1540 SF Total
2 BR / 2 BA / Den / 2 Car Garage
126 S.F. Open Space

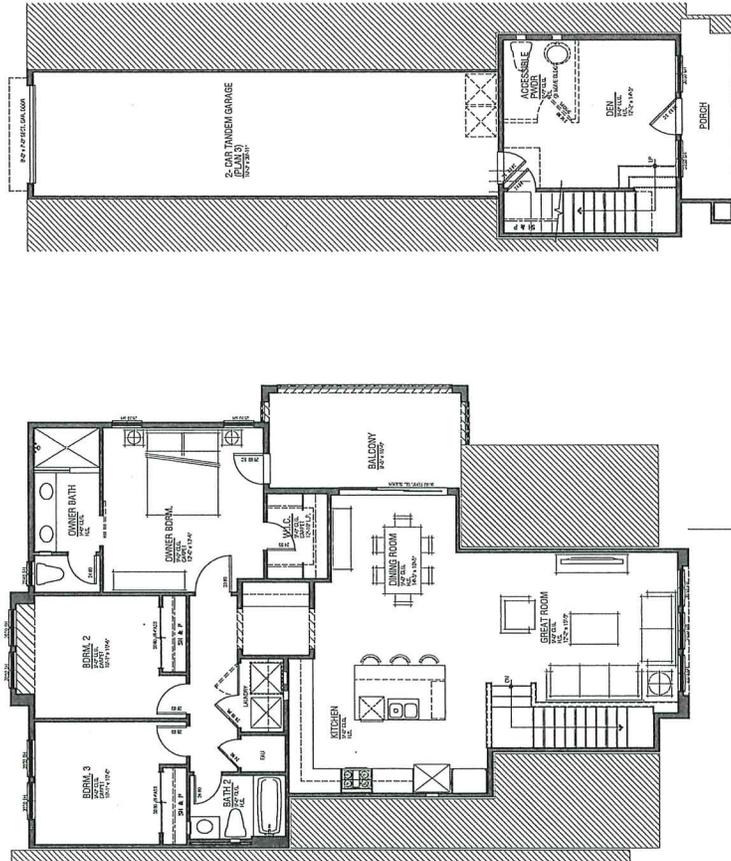


Plan 2 Floor Plans

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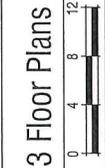
March 15, 2018
A7.2
WILLIAM WALTMAN ARCHITECTS, INC.
2000 UNIVERSITY AVENUE, SUITE 200, SAN ANTONIO, CA 78204
760.591.1000 www.waltmanarch.com



First Floor
235 SF

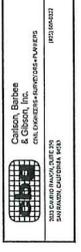
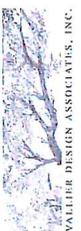
Second Floor
1335 SF

Plan 3
1641 SF Total
3 BR / 2 BA / Den / 2 Car Garage
125 S.F. Open Space



Plan 3 Floor Plans

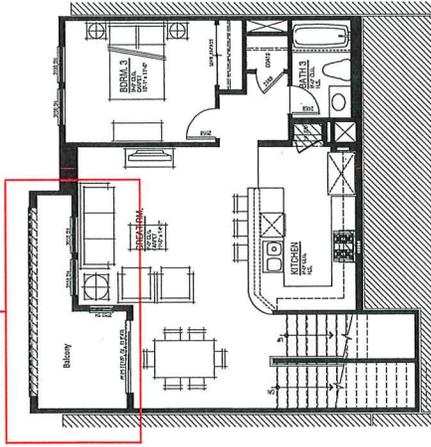
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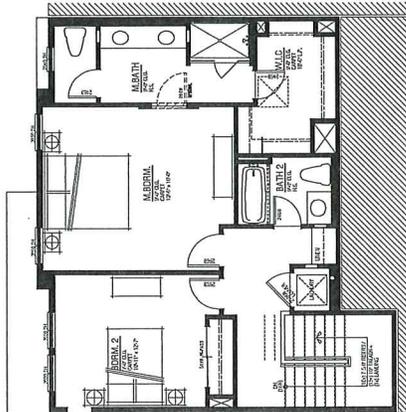
March 15, 2018
A7.3

WILLIAMS & MULLAN, ARCHITECTS, INC.
3000 CALIFORNIA AVENUE, SUITE 200, SAN RAMON, CA 94583
925.376.2000 www.williamsandmullan.com

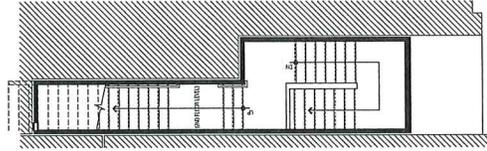
R6



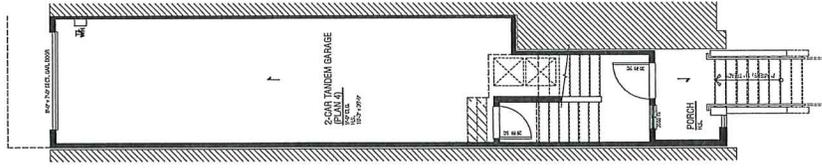
Third Floor
728 SF



Fourth Floor
748 SF



Second Floor
132 SF



First Floor
728 SF

Plan 4
1700 SF Total
3 BR / 3 BA / 2 Car Garage
101 S.F. Open Space

REVISIONS FOR CONDITION OF APPROVAL:
R6. ALL BALCONIES ON 11-PLEX AND 12-PLEX BUILDINGS ON THIRD FLOOR LEVEL SHALL BE AT LEAST 60 SQ.FT. WHERE 6" DEPTH OCCURS

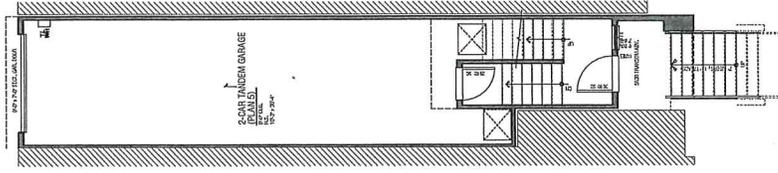
MIRAFLORES
Richmond, CA ■ Miraflores Community Devco

Miraflores
Richmond, CA ■ Miraflores Community Devco

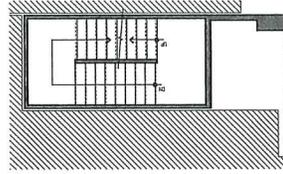


March 15, 2018

A7.4



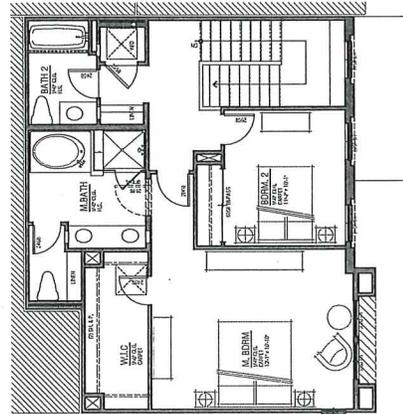
First Floor
71 SF



Second Floor
128 SF

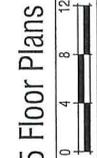


Third Floor
888 SF



Fourth Floor
748 SF

Plan 5
1767 SF Total
3 BR / 3 BA / 2 Car Garage
73 S.F. Open Space



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Plan 5 Floor Plans

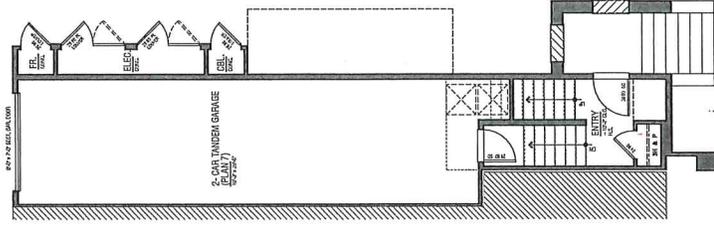


Charles Beckett & Gibson, Inc.
ARCHITECTS
3000 GARDEN GROVE BLVD
SUITE 200
GARDEN GROVE, CA 92640
TEL: 714.644.2222

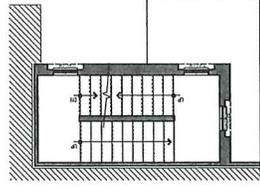
WILLIAM H. HANSH ARCHITECTS, INC.
3000 GARDEN GROVE BLVD
SUITE 200
GARDEN GROVE, CA 92640
TEL: 714.644.2222

March 15, 2018

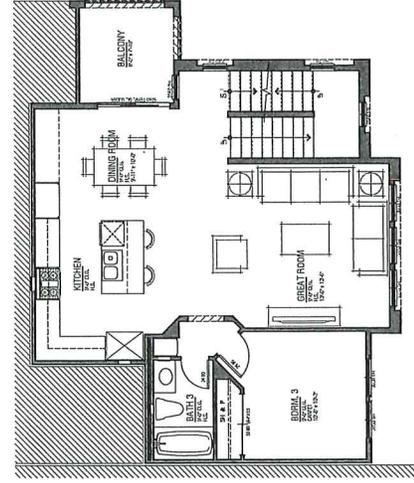
A7.5



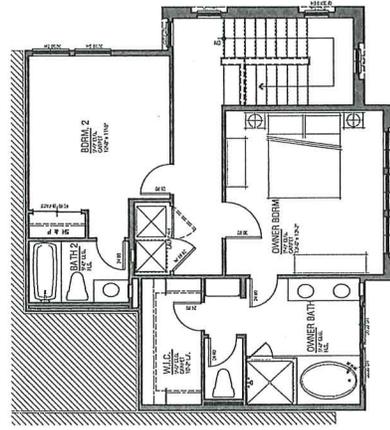
First Floor
115 SF



Second Floor
137 SF

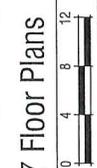


Third Floor
832 SF



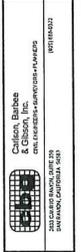
Fourth Floor
724 SF

Plan 7
1830 SF Total
3 BR / 3 BA / 2 Car Garage
67 S.F. Open Space



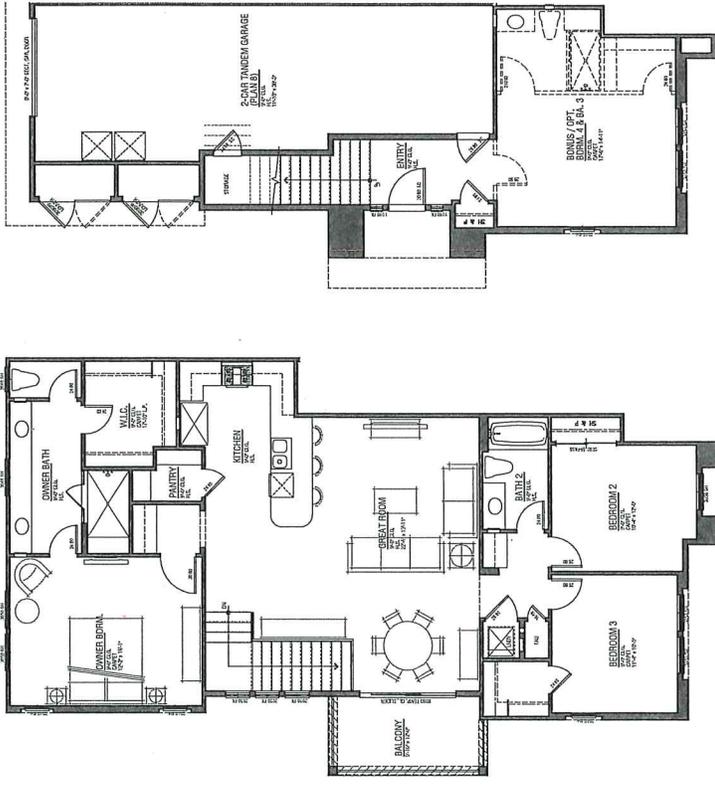
Miraflores
Plan 7 Floor Plans

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March 15, 2018

A7.7



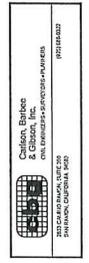
First Floor
643 SF

Second Floor
1403 SF

Plan 8
1854 SF Total
3 BR / 2 BA / Bonus / 2 Car Garage
82 S.F. Open Space

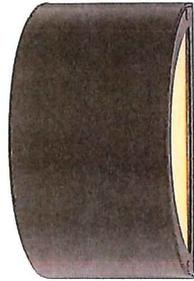


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March 15, 2018
A7.8

WILLIAM H. VALLIER ARCHITECTS, INC.
3000 CALIFORNIA AVENUE SUITE 200 SAN ANTONIO CA 78204
PH: 214.343.1001 WWW.WHVALLIER.COM



Elevations A, B & C
Santa Barbara

Manufacturer: Hinkley Lighting
 Product Name: Luna
 (Outdoor Wall Lantern)
 Product Number: 1661BZ
 Finish: Bronze Finish
 Dimensions: Width: 9.0" Height: 5.0"
 Lighting Color: Temperature: 3,000K
 Lumens: 600
 Dark Sky: Yes

REVISIONS FOR CONDITION OF APPROVAL:
 R5. EXTERIOR LIGHTING FIXTURES COMPLY WITH INDIRECT LIGHTING
 REQUIREMENTS. (HINKLEY LIGHTING: LUNA COLLECTION)
 (DARK SKY, DOWN LIGHT COMPLIANT)

Lighting Exhibit

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WILLIAM HEZVALHALCH
 ARCHITECT
 2000 S. HILL AVENUE, SUITE 200, SANTA ANA, CA 92705
 949.255.2287 www.whevalch.com

March 15, 2018

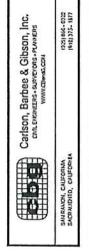
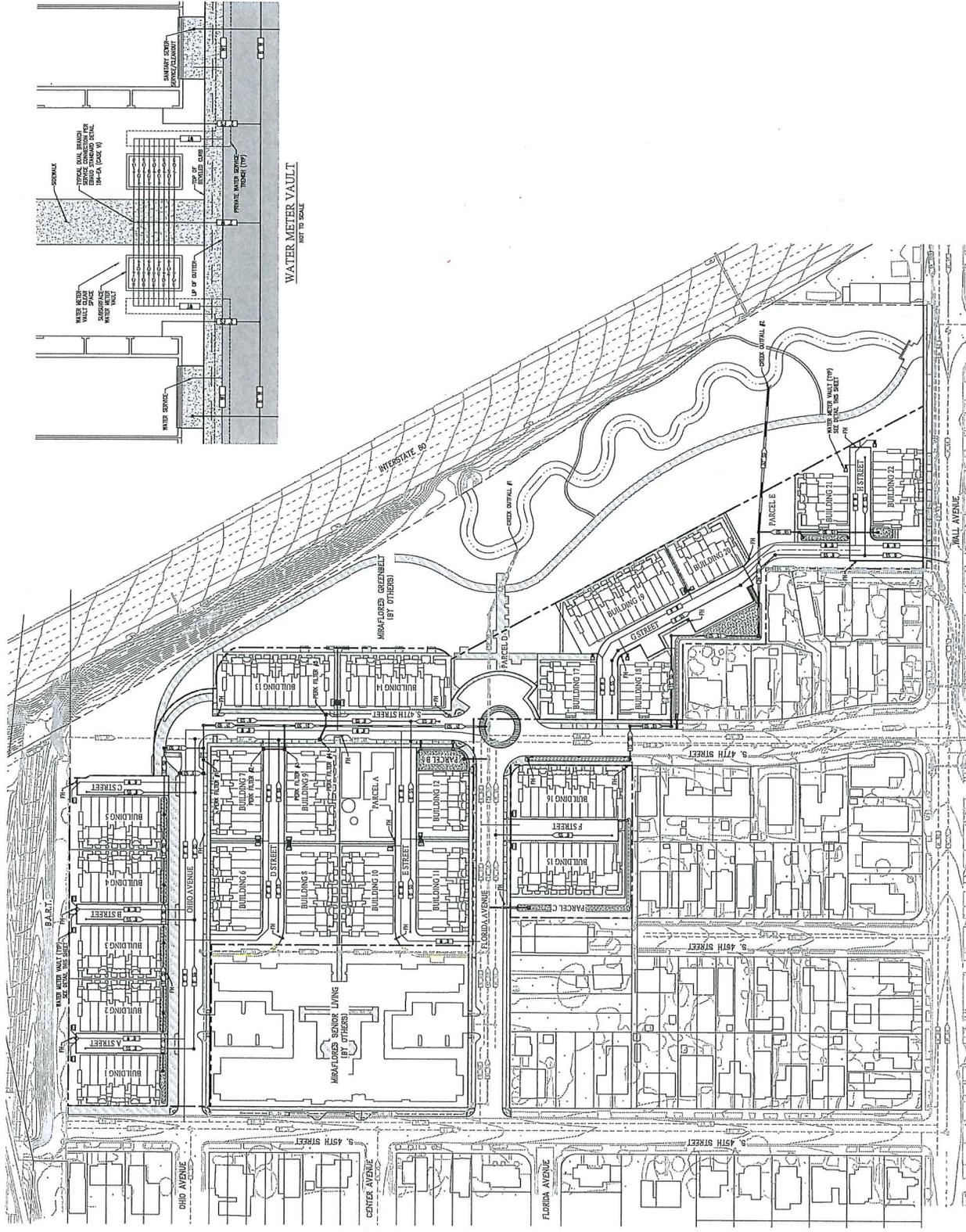
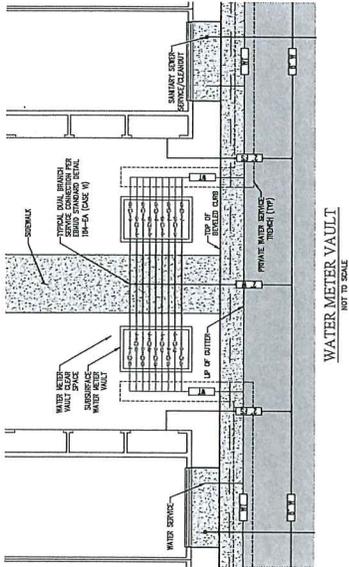
A7.10

LEGEND	
EXISTING	PROPOSED

ABBREVIATIONS	
FH	FIRE HYDRANT
FS	FIRE SERVICE
SD	STORM DRAIN
W	WATER
WT	WATER TROUGH
IS	IRREGULAR NUMBER

NOTES

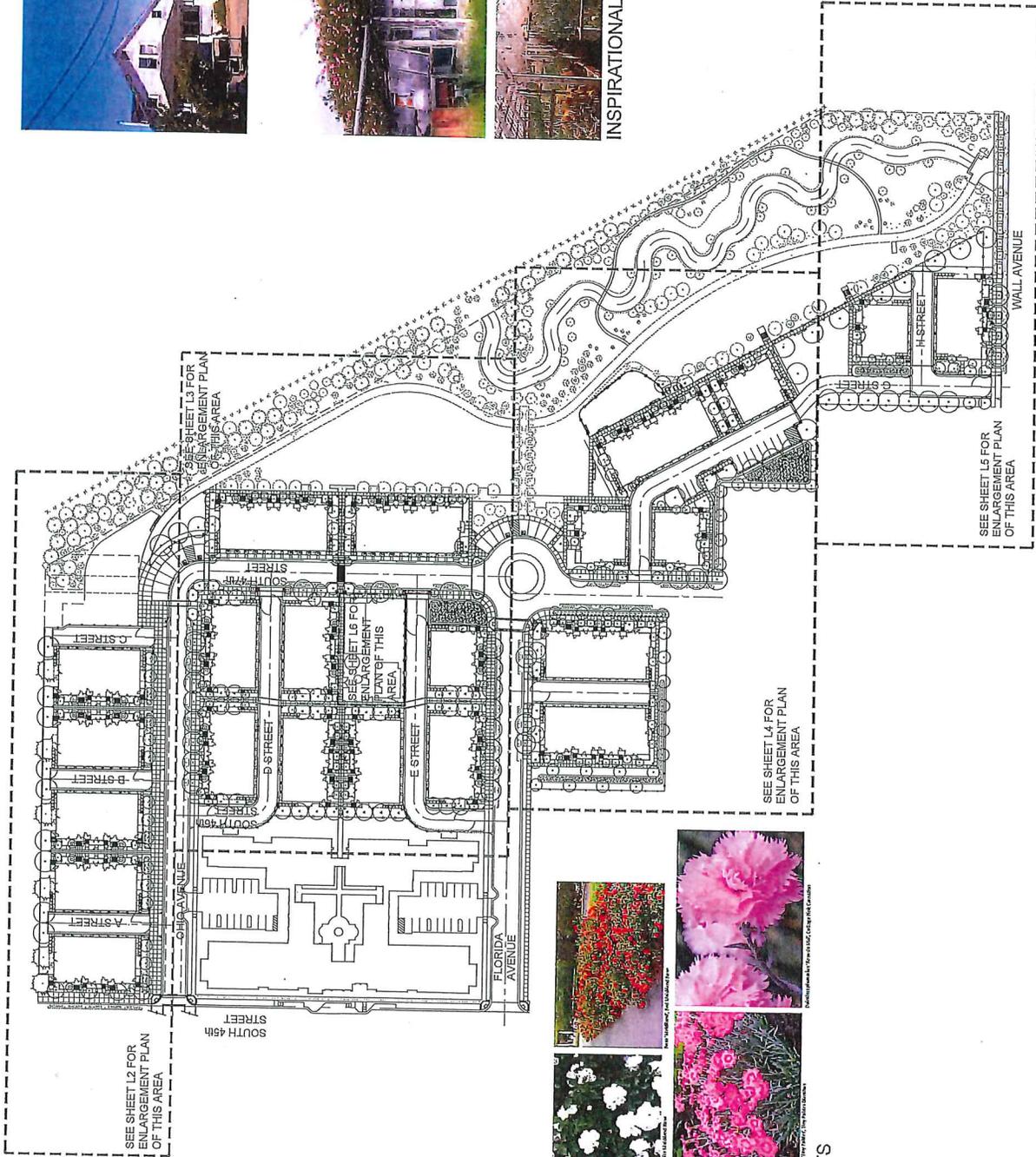
- PROPOSED WATER UTILITIES AND EXISTING MAINS WILL BE REVEALED ON THE FINAL DESIGN PLANS.
- ALL UTILITIES SHALL BE REVEALED TO THE SURFACE TO BE RELOCATED EXCEPT THE EXISTING STORM MAINS.
- ADJUSTMENTS TO THE EXISTING UTILITY AND THE EXISTING WATER MAINS SHALL BE MADE TO ACCOMMODATE THE PROPOSED UTILITIES.
- ALL EXISTING UTILITY SERVICE AND EXISTING SERVICE LATERALS ARE TO BE RELOCATED TO THE PROPOSED WATER MAINS.
- PROPOSED UTILITIES ARE PRELIMINARY & SUBJECT TO FINAL DESIGN.



WILLIAM HENNING ARCHITECTS, INC.
 10000 WILLOW CREEK DRIVE, SUITE 100
 SAN ANTONIO, TEXAS 78243
 TEL: 214-343-1111 FAX: 214-343-1112
 WWW.WHARCHITECTS.COM



INSPIRATIONAL IMAGES

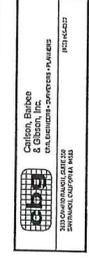
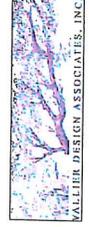
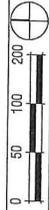


SIGNATURE PLANTS

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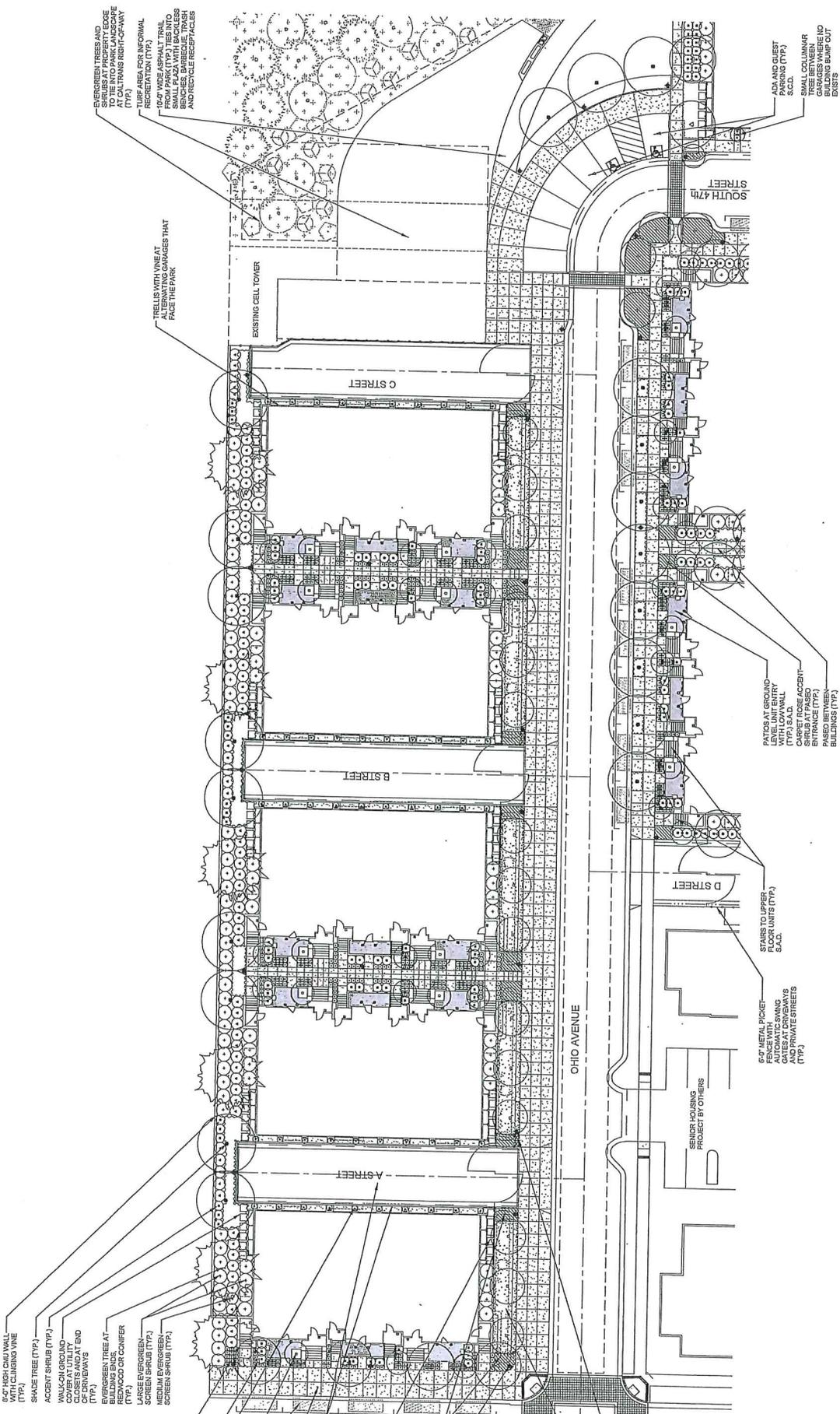
OVERALL SITE PLAN



April 2018

L1

WILLIAM HEZMALHALCH ARCHITECTS INC.
 2000 W. 10TH STREET, SUITE 100
 SAN FRANCISCO, CA 94115
 TEL: 415.774.8800 FAX: 415.774.8801
 WWW.WHARCHITECTS.COM



- 8 FT HIGH CHAIN LINK FENCE WITH CLIMBING VINE (TYP.)
- SHADE TREE (TYP.)
- ACCENT SHRUB (TYP.)
- WALK-ON GROUND COVER PLANT AT END OF DRIVEWAYS (TYP.)
- SCREENING TREE AT BUILDING END, REDWOOD OR CONIFER (TYP.)
- LARGE EVERGREEN SCREEN SHRUB (TYP.)
- MEDIUM EVERGREEN SCREEN SHRUB (TYP.)
- ACCENT PLANT TO HIGHLIGHT ENTRANCES (TYP.)
- SMALL ACCENT PLANT ENTRANCES (TYP.)
- SMALL ACCENT TREE AT PATIO ENTRY (TYP.)
- ON-STREET PARKING (TYP.) S.C.D.
- CONCRETE WALK (TYP.)
- UNIT DRIVE COURT WITH COLORED PERMEABLE PAVERS
- CONCRETE DRIVE AND CONCRETE UNIT DRIVEWAY PAVES (TYP.)
- PAVS AT UTILITY CLOSERS WITH WALK CLOSERS WITH WALKER (TYP.) S.A.D. FOR CLOSERS
- CABINET ROSE ACCENT CLOSERS WITH WALKER (TYP.) S.A.D. FOR CLOSERS
- 12" x 24" HIGH PEDESTRIAN AND DRIVEWAYS (TYP.)
- 12" x 24" HIGH PEDESTRIAN AND DRIVEWAYS (TYP.)
- LENS WITH CUT OFF LENS (TYP.)
- BROWLAIR ANTERIOR WITH SECS AND/OR PARASOLLS AND TREES (TYP.)
- GROUPED MAIL BOXES (TYP.)
- CURBITE PAD (TYP.)
- CROSSWALK WITH SPECIALTY STRIPING OR PAVED ASPHALT (TYP.)

- EVERGREEN TREES AND SHRUBS TO BE PLANTED TO THE INTO PARK LANDSCAPE AT CALTRANS RIGHT-OF-WAY
- TURF AREA FOR INFORMAL RECREATION (TYP.)
- 10' WIDE ASPHALT TRAIL FROM PATIO ENTRY TO SMALL PLAZA WITH BENCHES, BARBECUE, TRASH AND RECYCLE RECEPTACLES
- TREES WITH VINE AT ALTERED ENTRANCES THAT FACE THE PARK
- EXISTING CELL TOWER

- 6 FT METAL PICKET FENCE WITH AUTOMATIC SWING AND PRIVATE STREETS (TYP.)
- SEAS TO UPPER FLOOR UNITS (TYP.) S.A.D.
- PATIO AT GROUND LEVEL WITH LOW WALL (TYP.) S.A.D.
- SCREENING SHRUB AT PASSAGEWAY ENTRANCE (TYP.)
- SCREENING SHRUB PASSED BETWEEN BUILDINGS (TYP.)
- ADA AND BEST PRACTICES PARKING (TYP.) S.C.D.
- SMALL COLUMNAR GARAGES WHERE NO BUILDING BUMP OUT EXISTS

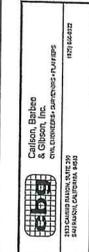
- OHIO AVENUE
- SENIOR HOUSING PROJECT BY OTHERS
- SOUTH 45th STREET
- SOUTH 47th STREET

- 6 FT METAL PICKET FENCE WITH AUTOMATIC SWING AND PRIVATE STREETS (TYP.)
- SEAS TO UPPER FLOOR UNITS (TYP.) S.A.D.
- PATIO AT GROUND LEVEL WITH LOW WALL (TYP.) S.A.D.
- SCREENING SHRUB AT PASSAGEWAY ENTRANCE (TYP.)
- SCREENING SHRUB PASSED BETWEEN BUILDINGS (TYP.)

Miraflores

ENLARGEMENT - NORTH SECTION

Richmond, CA ■ Miraflores Community Devco



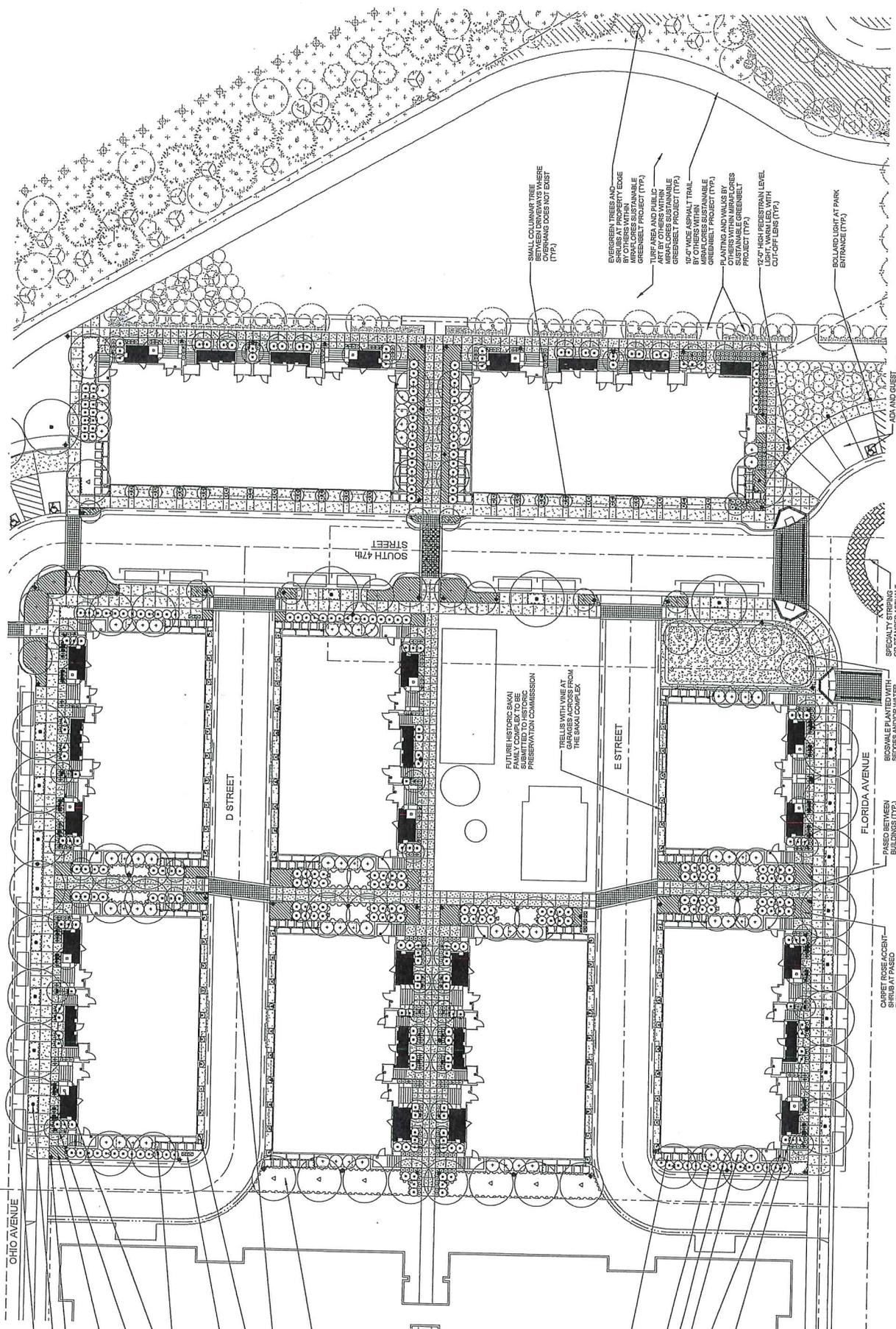
January, 2018

L2

WILLIAM H. HUALACH ARCHITECTS, INC.
 2000 CALIFORNIA STREET, SUITE 200, RICHMOND, CA 94804
 (925) 709-1100 FAX (925) 709-1101

Callison, Babbe & Gilson, Inc.
 1000 UNIVERSITY AVENUE, SUITE 200
 BERKELEY, CALIFORNIA 94702

CALLIER DESIGN ASSOCIATES, INC.
 1000 UNIVERSITY AVENUE, SUITE 200
 BERKELEY, CALIFORNIA 94702



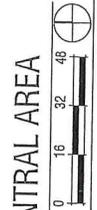
January, 2018
L3

WILLIAM W. MALACHON C. ARCHITECTS
 1000 UNIVERSITY AVENUE, SUITE 200, PALMDALE, CA 93550
 TEL: 805.325.1100 FAX: 805.325.1101 WWW.WWMA.COM

California, Barbara & Gibson, Inc.
 CONSULTANTS - LANDSCAPE ARCHITECTS
 1000 UNIVERSITY AVENUE, SUITE 200, PALMDALE, CA 93550
 TEL: 805.325.1100 FAX: 805.325.1101 WWW.CALIBARBANDGIBSON.COM



MIRAFLORES
 A COMMUNITY DEVELOPMENT



Miraflores ENLARGEMENT PLAN - CENTRAL AREA
 Richmond, CA ■ Miraflores Community Devco

ON-STREET PARKING (TYP.) S.C.D.
 STREET TREE (TYP.)
 12'-0" HIGH PEDESTRIAN-SCALE WALKWAY WITH CUT-OFF LENS (TYP.)
 CURB ROSE ACCENT WITH CONCRETE AND DRIVEWAYS (TYP.)
 NIGHTLIGHT UNIT (TYP.)
 18" HIGH TREE AT PATIO ENTRY (TYP.)
 CONCRETE STEPPING PADS AT UTILITY WALK ON GROUND COVER CLOSETS FOR GROUPED MAIL BOXES ON CONCRETE PAVEMENT
 SHAW ACCESS PLANT BETWEEN GARAGE ENTRANCES (TYP.)
 CROSSWALK WITH CURB STAMPED ASPHALT (TYP.)
 EVERGREEN GROUND COVER (TYP.)

SENIOR HOUSING PROJECT BY OTHERS

WALK ON GROUND COVER AT UTILITY PADS OF DRIVEWAYS (TYP.)
 SHADE TREE (TYP.)
 ACCENT SHRUB (TYP.)
 LARGE EVERGREEN SCREEN SHRUB (TYP.)
 SPARS TO UPPER LEVEL UNITS (TYP.)
 PATIO AT GROUND LEVEL WITH LOW WALL (TYP.) S.A.D.

CURB ROSE ACCENT WITH CONCRETE AND DRIVEWAYS (TYP.)

SMALL COLUMNAR TREE WITH SPARSE OVERHANG DOES NOT EXIST (TYP.)

EVERGREEN TREES AND PLANTS AT EDGE BY OTHERS WITHIN GREENBELT PROJECT (TYP.)
 TURF AREA AND PUBLIC ART BY OTHERS WITHIN GREENBELT PROJECT (TYP.)
 16'-0" WIDE ASPHALT TRAIL BY OTHERS WITHIN GREENBELT PROJECT (TYP.)
 PLANTING AND WALLS BY OTHERS WITHIN GREENBELT PROJECT (TYP.)
 12'-0" HIGH SCREEN LEVEL LIGHT, WALL LED WITH CUT-OFF LENS (TYP.)

BOLLARD LIGHT AT PARK ENTRANCE (TYP.)

ADA AND GUEST PARKING (TYP.) S.C.D.

SPECIALTY CURB STAMPED ASPHALT (TYP.)

BIRDBATH PLANTED WITH SEEDS AND/OR WATER TREES (TYP.)

FLORIDA AVENUE PASSED BETWEEN BUILDINGS (TYP.)

E STREET

SOUTH 47th STREET

D STREET

FUTURE HISTORIC SAKAI TRAIL SIGNAGE TO BE SUBMITTED TO THE PRESERVATION COMMISSION

TREELINE WALL AT GARAGE ACCESS FROM THE SAKAI COMPLEX

